

Subject: Consideration of request for City support to Canada Mortgage and Housing Corporation for a proposal to construct and operate an affordable housing project on Greig Road

The nature of the proposal makes it difficult to analyze the land use on an objective basis. It is challenging to point out problems with the location for a use like affordable housing, which is perceived to be desperately needed. Despite this, the subject property is not ideal and will have technical challenges with respect to servicing and access. There may also be issues with the site itself as it is known to have been filled significantly. If a conventional development was proposed for this site the developer would be expected to provide considerable upgrading to both the site conditions and the adjacent areas, particularly with respect to access. From a planning perspective it is generally not advisable to permit an enclave of residential units in a location without urban services as it will lead to a demand for them.

The proponent of this project has indicated that he will be seeking a waiver of major works. Therefore, if the works associated with development of this site are essential at the time of development they would need to be provided by the City. At this time there are insufficient project details to know the exact impact. It should be noted that the Ministry of Highways will ultimately be required to have input into a zoning amendment application. The Ministry of Highways could set requirements which are not within the City's purview to relax.

This is the first request of this nature; being a proposal by the private sector to participate in affordable housing. There is at least one other non-profit group working on a similar proposal. Also, one or two other private developers are exploring something similar in concept. A rezoning application was recently filed with the City for a mobile home park within the Industrial area. At this time no criteria has been established for evaluation of the merit of proposals seeking City participation. Nor has the City's level of participation in affordable housing been established. In the absence of this proposals will need to be dealt with on an ad hoc basis.

Analysis of Specific Options:

1. Council can provide a letter of support 'to further investigate' the proposal. This will enable Affordable Housing: Vancouver Island Society to apply for Canada Mortgage and Housing Corporation funding for this purpose. This does not commit the City to the ultimate approval of the project; although it would infer a willingness to give serious consideration to the proposal. It would be prudent to request input into the Terms of Reference for the investigation. The information that would be critical to the City's consideration is the exact level of waivers and financial participation that would ultimately be expected of the City; as would some of the operational details.

Supporting the request would suggest that the City generally finds the location acceptable.

2. Denial of support should be considered now if Council already knows it would not be supportive of the proposal based on the current level of information, such as; the location, knowledge that there will be a requirement for a reduction in City standards, or, some other variable.
3. A referral to the Advisory Planning Commission and the Economic Development Office could provide input on the land use aspect of the proposal. The impact of reduction of industrial land, the impact of introduction of residential land use, and, compatibility with the Official Community Plan could be established.

Subject: Consideration of request for City support to Canada Mortgage and Housing Corporation for a proposal to construct and operate an affordable housing project on Greig Road

Financial Implications:

At this stage, staff time for research and report compilation is the primary cost item for the City.

Sustainability/Environmental Analysis:

This initiative is compatible with the goal of having a diverse and affordable housing stock and is a good concept in that regard. Other sustainability concepts such as close proximity to required services are violated by the location.

Recommendation:

That the report of the Director of Community Planning dated November 28, 2008 regarding consideration of request for City support to Canada Mortgage and Housing Corporation for a proposal to construct and operate an affordable housing project on Lots 1 and 2, District Lot 123, Nanoose District, Plan 4091 (1350 Greig Road) be received;

And That a referral to the Advisory Planning Commission and the Economic Development Office be done to provide input on the land use aspect of this proposal;

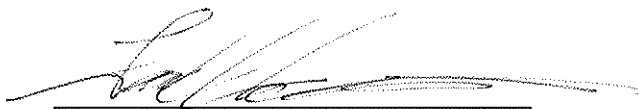


GAYLE A. JACKSON

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Attachments

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CHIEF ADMINISTRATIVE OFFICER COMMENTS:



F. MANSON, C.G.A.

DATE **June 9, 2008**

MEMO TO: FRED MANSON
CHIEF ADMINISTRATIVE OFFICER

FROM: GARY O'ROURKE
DIRECTOR OF ENGINEERING AND OPERATIONS

SUBJECT: AFFORDABLE HOUSING PROPOSAL – GREIG ROAD
VANCOUVER ISLAND HOUSING SOCIETY

FILE NO.: 0230-20-VI HOU

The following comments pertain to the above referenced proposal to construct a 50 unit affordable housing project (rental) on Lots 1 and 2, Plan 4091, DL 123, Nanoose LD (1350 Greig Road). They are made based on a cursory review of the submission made by the *Affordable Housing: Vancouver Island Society*, dated May 2, 2008:

1. Significant quantities of fill have been placed on sections of these properties. The quality of the fill is unknown. It is also not known if there are any related issues (e.g. contamination, leachate, stability) which must be addressed on these properties prior to undertaking any 'development'. There may be risks and liabilities associated with these unknowns. In this regard, the owner of the subject property (Mr. H. Heringa) has been writing the City regarding the possible link between groundwater local quality and the abandoned City landfill at 1060 Industrial Way;
2. The access to the property will need to be improved to accommodate this development. The existing intersection of Greig Road and Highway 19A is a 'Right-In, Right-Out' configuration. Highway 19A is under the jurisdiction of the Ministry of Transportation at this location. It may be necessary to install a traffic signal in conjunction with any intersection improvements deemed necessary;
3. Servicing capacities (water and sewer) must be assessed to establish the related off-site upgrading requirements;
4. Water and sanitary sewer servicing will need to be extended (i.e. a minimum of approximately 200 - 300 meters) to the site. This may involve extending existing mains on Industrial Way (approximately 200 to 300 meters), or extending services across Highway 19A;
5. A storm-water management plan will need to be prepared to establish requirements for handling drainage for the development. There is no municipal storm drainage system in this area;

6. There are known rock outcrops in the vicinity of Greig Road and Highway 19A. The existence of rock may have a significant impact on construction costs. Further assessment is required.

It is strongly recommended that a detailed technical review of servicing requirements be completed prior to making any decisions related to this project, or establishing any budget requirements. Such works should include initial discussions with the Ministry of Highways to establish Highway 19A upgrading requirements. An initial budget of \$25,000 would be required to retain qualified firms/persons to undertake this work. Additional funds may be required should the investigations proceed beyond a conceptual stage.

It is also recommended that legal advice be obtained to assess the risks and liabilities associated with groundwater conditions and the fill placed on the site.

There may also be issues related to zoning and the overall development process which need to be identified/addressed at this time. I have therefore copied this Memorandum (and a copy of the submission) to the Director of Community Planning.

Gary O'Rourke, P.Eng.
Director of Engineering & Operations

c Director of Community Planning
 Manager of Engineering
 Manager of Operations

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AHVIS
2632 Northwest Bay Road
Nanoose Bay, B.C., V9P 9R7
250-468-7970

September 2, 2008

City of Parksville
Box 1390, 100 E. Jensen Avenue
Parksville, B.C., V9P 2H3

Attention: Gayle Jackson, Director of Community Planning

Dear Ms. Jackson

Subject: Proposal to construct and operate approximately 50 unit rental Affordable Housing Project on the south side of Parksville at Industrial Way

Further to our letter of July 8th, 2008, we have now confirmed that 95% financing for an affordable housing project is available, either directly through CMHC or as an assured loan through a conventional lender. AHVIS would have to provide the equity of approximately \$161,000.00.

We have also confirmed the site can be serviced for \$250,000.00, provided we can access sanitary sewer and water services at the intersection of Tuan Road and Industrial Way and there is no special upgrading required. An exfiltration system could dispose of storm water on-site. The site would be accessed via Industrial Way, which would remain a one-way street with an exit at the intersection of Franklin's Gull Road and the Island Highway.

The site in question consists of 7 acres. Four acres can be built on without any major geotechnical work. We have presently optioned one acre with the right to buy the whole site at a very reasonable price. The project would be designed with further expansion in mind and could probably accommodate as many as 200 units.

At last years forum on affordable housing, staff housing was identified as the area with the greatest shortfall. It was estimated projects planned and under construction would create a need for as many as 1200 units. Projects such as the Beach Club, Sunrise Ridge and the Seniors Complex are now partially operating while not a single staff housing unit has been added to the City inventory.

The site in question is within easy walking distance of most of the major resorts. Shopping facilities are also within walking distance and for people who find the walk into town too demanding a regular mini-bus service could be provided at a reasonable fee.

Under current CMHC guidelines 51% of the units have to be rented for no more than \$625.00 per month, the balance can be rented at a higher rate. We are proposing to rent the 51% (or more if possible), directly to employers, with the balance at market rates. Since all units have a living room and a separate bedroom, the units can be shared by two people, which will make them quite affordable.

To meet our budget projections, the City and the Regional District would have to wave Development Cost Charges and any major off-site servicing costs.

CMHC will fund a feasibility study if we can provide them with a letter indicating the City of Parksville is prepared to support the project and rezone the property for the intended purpose, if the study provides the necessary support.

I am personally prepared to devote time and lend my expertise to a project that could greatly alleviate the affordable housing shortage in Parksville. I can also rely on the services of Mr. Kenneth Hole who has extensive experience in the construction and management of senior and staff housing projects

Yours truly

Egon Kuhn, Director

**Projected Operating Profit and Loss Statement
 South Parkville AHVIS, in Accordance with CMHC Lending Requirements
 for Affordable Housing**

Revenue

26 Units @ \$625.00 per month	16,250.00
24 units at \$725.00 per month	17,400.00
Parking Stall Revenue (20 Units at \$25)	500.00
Misc. Revenue (Laundry, Transit, Storage)	1,000.00
Monthly Revenue	<u>35,150.00</u>
Less 2% Vacancy	703.00
Total Revenue	<u>34,447.00</u>

Expences

Caretaker and Managers Suite	2,225.00
Utilities Common Areas	1,000.00
Repairs and Maintenance	500.00
Insurance	1,000.00
Legal, Accounting	500.00
Bank Charges, Advertising, Promotion	500.00
Consulting Fees and Expenses	3,000.00
Water, Sewer Garbage	100.00
Estimated Taxes at 50%	2,000.00
Misc. Expenses	500.00
Expenses	<u>11,325.00</u>

First Mortgage @ 5.25%, 30 year amortization 17,382.00

Total Expenses 28,707.00

Reserve Fund 3% 1,033.41

**Net Profit before Depreciation, Contingency
 and Future Requirements** 4,706.59

Gayle Jackson

From: Doug Banks
Sent: September 3, 2008 03:44 PM
To: Gayle Jackson; Fred Manson; Gary O'Rourke; Laurie Taylor; Lucky Butterworth; Blaine Russell
Cc: Susan Harbottle
Subject: RE: Affordable Housing Project

Until such time as we have more information regarding the proposal, we cannot make any specific comments on this proposal. In general, the concerns that this department would have are to do with the following:

1. Site Access – How will the site be accessed? A secondary access point to the site will be required should the primary access become obstructed. How are the internal roads laid out and to what standard are they built too?
2. Water Supply – We will be requesting that there is sufficient water supply available to meet the requirements of the Fire Underwriters Survey. This can only be determined once the size and construction type of the buildings are known.
3. Hydrant Location – Without knowing the layout of the complex, we cannot make any comments on the appropriate hydrant locations.
4. Type and size of structures – The type and size of structures will have an impact on the department. There is a big difference for us in dealing with a typical SFD vs. a large Multi-family type apartment. The amount of resources required to deal with an incident in a typical SFD are a lot less than the resources required to handle an incident in a multi-family apartment type building.

If the proponent is able to supply any type of site layout and building details, we will be able to provide further comments at that time.

Doug Banks
 Fire Chief
 Parksville Fire Department

250 954-4671
 250 248-3925 (Fax)

From: Gayle Jackson
Sent: September 3, 2008 11:35
To: Fred Manson; Gary O'Rourke; Laurie Taylor; Doug Banks; Lucky Butterworth; Blaine Russell
Cc: Susan Harbottle
Subject: FW: Affordable Housing Project

This is the proposal we were talking about today in Sr. Staff. Would each of you please comment on the proposal, from the perspective of your Department. I will coordinate the comments and ultimately the response to applicant and/or report to Council.

Thanks.
 Gayle

P.S. I have asked them if they have a layout plan.

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01/10/2008

COMMITTEE OF THE WHOLE REPORT

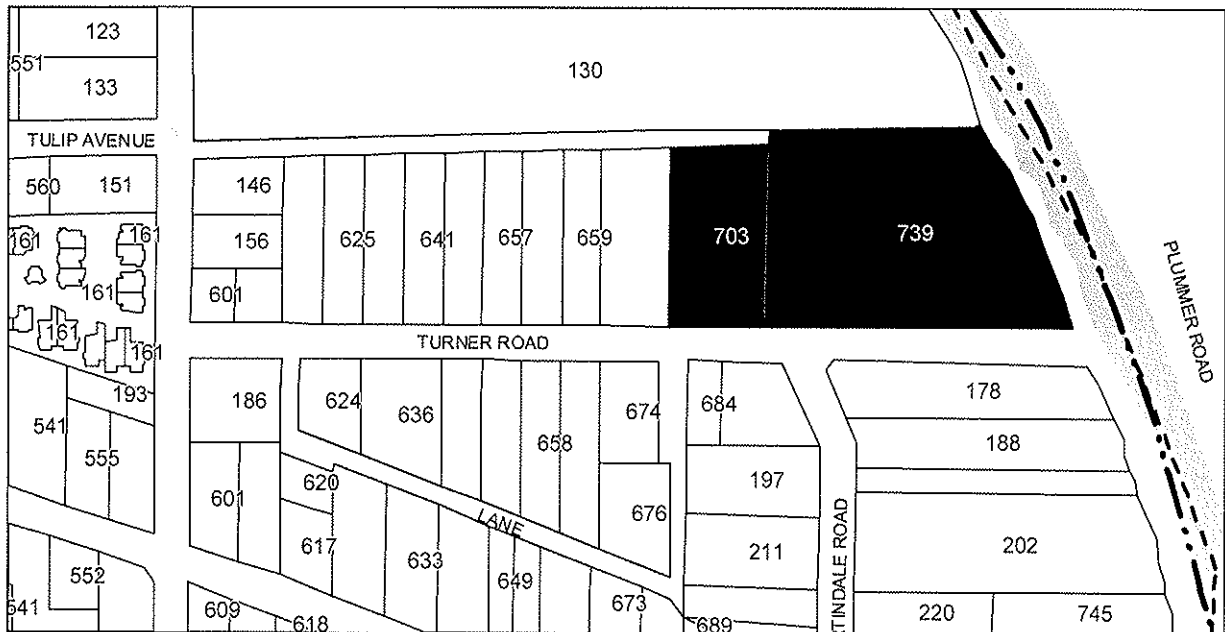
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COMMITTEE
APR 27 2009
DATE

April 16, 2009

MEMO TO: F. C. MANSON, C.G.A., CHIEF ADMINISTRATIVE OFFICER
FROM: G. A. JACKSON, DIRECTOR OF COMMUNITY PLANNING
SUBJECT: APPLICATION FOR A DEVELOPMENT PERMIT TO PERMIT A 24 UNIT TOWNHOUSE DEVELOPMENT AND OVERALL SITE WORKS ON LOT 9, DISTRICT LOT 3, NANOOSE DISTRICT, PLAN 7127; LOT 10, DISTRICT LOT 3, NANOOSE DISTRICT, PLAN 7127 EXCEPT PART IN PLAN 39802 [703 AND 739 TURNER ROAD]
REGISTERED OWNERS: 614871 B.C. LTD.
APPLICANT: TIMBERLAKE-JONES ENGINEERING, M. T. JONES, P. ENG.
OUR FILE NO: 3060-30-07-14

Issue:

Consideration of a development permit to permit 24 - 3 bedroom residential townhouse units.



Executive Summary:

On November 1, 2007, the City received a development permit application from Timberlake-Jones Engineering, M.T. Jones, P. Eng. on behalf of the owners of the property. The site is located northeast of the intersection of Turner Road and Martindale Road fronting onto the Englishman River. The applicant is requesting the issuance of a development permit to authorize 24 - 3 bedroom residential townhouse units. The subject property is within Development Permit Area No. 10 - PARKSVILLE EAST. The development permit designation is under the Form and Character, Hazardous Conditions and protection of the natural environment categories.

**APPLICATION FOR A DEVELOPMENT
PERMIT TO PERMIT 24 – 3 BEDROOM
RESIDENTIAL TOWNHOUSE UNITS**

References:

Refer to Schedule "A" attached to and forming part of this report.

Background:

This development permit application has taken a considerable amount of time to come into compliance with the City of Parksville's zoning and technical requirement for the site. Issues related to the consideration of a road exchange and overall density of the project has held up the review process.

The Qualified Environmental Professional's report regarding stream side protection and Riparian Areas Regulation have been vetted through the Department of Fisheries and Oceans, and the Ministry of the Environment. The qualified environmental professional's report meets the criteria of the Riparian Areas Regulation, and the City has been advised to proceed with our approvals.

Roughly half of the project site lies within the floodplain and is to remain undisturbed until the Department of Fisheries and Oceans has approved plans to create enhanced ponds for fish habitat. No tree removal is authorized within the streamside protection area except where necessary to accommodate the proposed storm sewer outfall.

A flood level impact study of the proposed development has also been submitted supporting the development application to address potential hazards and environmental concerns. The footprint of the residential development has been configured so that no structures or fill will encroach into the floodway.

The Department of Community Planning's technical review of the proposal is complete. The current proposal meets the requirements and guidelines of both the Zoning and Official Community Plan.

The proposal was reviewed by the Advisory Design Panel, on April 09, 2009. The Advisory Design Panel recommendation to Council is as follows:

"That Council should accept the design proposal based on drawings and presentations provided to the Advisory Design Panel for Lot 9, District Lot 3, Nanoose District, Plan 7127; Lot 10, District Lot 3, Nanoose District, Plan 7127 except part in Plan 39802.
CARRIED"

Options:

Council may:

1. Authorize Staff to issue a development permit for the proposed development.
2. Deny the development permit application.

**APPLICATION FOR A DEVELOPMENT
PERMIT TO PERMIT 24 – 3 BEDROOM
RESIDENTIAL TOWNHOUSE UNITS**

Analysis:

1. Issuance of a development permit will establish the form and character of this development and authorize the development of this site according to the terms and conditions of the development permit.
2. Council can deny a development permit based only on the application not meeting the development permit guidelines or that insufficient information has been provided for Council to make an informed decision. Application deficiencies in meeting the guidelines would have to be clearly communicated to the applicant so that they may be addressed and made satisfactory. The **Local Government Act** does not provide Council with the discretionary ability to ultimately deny permit issuance.

Sustainability/Environmental Analysis:

The Sustainable Community Builder Checklist (see attached) has been completed in detail by the applicant.

Financial Implications:

There are no financial implications.

Recommendation:

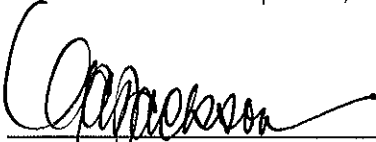
That the report from the Director of Community Planning dated April 16, 2009 for the issuance of a development permit at 703 and 739 Turner Road be received;

And That a development permit be issued to 614871 B.C. Ltd. to permit a 24 unit townhouse development and overall site works on Lot 9, District Lot 3, Nanoose District, Plan 7127; Lot 10, District Lot 3, Nanoose District, Plan 7127 except part in Plan 39802 (703 and 709 Turner Road);

And Further That where the Qualified Environmental Professional's report dated November 15, 2007 as prepared by EBA Engineering Consultants, describes an area designated as Streamside Protection and Enhancement Area that development activities within the Streamside Protection and Enhancement Area shall be conducted only in accordance with the Qualified Environmental Professional's assessment report and with appropriate Provincial Government approvals;

And Further That proof of lot consolidation be received prior to the issuance of the permit;

And Further That a landscaping letter of credit in the amount of \$267,364.90 be received prior to the issuance of the permit, for the purpose of assuring the completion of site landscaping.

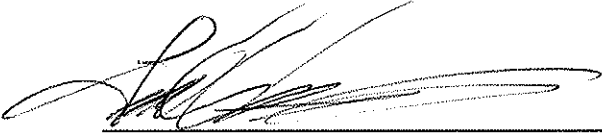


G. A. JACKSON

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Attachments

APPLICATION FOR A DEVELOPMENT
PERMIT TO PERMIT 24 – 3 BEDROOM
RESIDENTIAL TOWNHOUSE UNITS

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:



F. MANSON, C.G.A.

Schedule "A" - References

1. Official Community Plan Bylaw 2002, No. 1370 Excerpt – 5.2.10. Development Permit Area No. 10 - PARKSVILLE EAST
2. Sustainable Community Builder Checklist, date stamp received November 01, 2007 as prepared by Timberlake-Jones Engineering;
- * 3. Riparian Area Regulation – Qualified Environmental Professional - Assessment Report, dated November 15, 2007 as prepared by EBA Engineering Consultants;
4. Conceptual Site Plan, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
5. Streetscapes and Site Sections, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
6. Building Elevations – Building Type 1, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
7. Building Elevations – Building Type 2, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
8. Building Elevations – Building Type 3, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
9. Building Elevations – Building Type 4, date stamp received February 27, 2009 as prepared by Barnett Dembek Architects Inc.;
10. L1 - Overall Layout Plan, date stamp received February 27, 2009 as prepared by Craven Huston Powers Architects / Landscape Architects;
11. L2 – Enlarged Layout Plan – Building Site, date stamp received February 27, 2009 as prepared by Craven Huston Powers Architects / Landscape Architects;
12. L3 – Enlarged Planting Plan – Building Site, date stamp received February 27, 2009 as prepared by Craven Huston Powers Architects / Landscape Architects;
13. L4 – Enlarged Planting Plan – Floodplain, date stamp received February 27, 2009 as prepared by Craven Huston Powers Architects / Landscape Architects;
14. L5 – Details and Plant List, date stamp received February 27, 2009 as prepared by Craven Huston Powers Architects / Landscape Architects;

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5.2.10. Development Permit Area No. 10 - PARKSVILLE EAST

- a) Category: Form and Character, Hazardous Conditions, Protection of the Natural Environment

- b) Justification:

This area, between the Parksville Flats, the Englishman River, and the East Island Highway commercial strip has been designated for medium density multiple family and tourist commercial development. As much of the area lacks sanitary sewage services, it is presently underdeveloped. New multiple family development will require that design details be considered in the context of surrounding land uses. Tourist commercial areas, meanwhile, are located adjacent to the Englishman River and may be subject to hazardous conditions. In addition, as a sensitive environmental feature, the River itself must be adequately protected from the impacts of new development.

- c) Guidelines:

- i) Off-street parking should be located in the rear or concealed within the structure where possible.
- ii) Landscaping, to be furnished with an underground irrigation system, should be used to screen off-street parking and service areas and generally enhance the appearance of the development.
- iii) Landscaped pedestrian walkways should be provided to and from buildings and parking areas.
- iv) Sloped roofs should be used in residential developments to harmonize with the adjacent single family area.
- v) Exterior finishes and colours that are appropriate for the natural heritage of the area should be employed in all developments.
- vi) Where present, significant stands of trees should be preserved and incorporated into the design of the development.
- vii) Signage should complement the architecture of the development and be sized to respect pedestrian as well as vehicular traffic.

For developments on properties adjacent to the Englishman River, the following additional guidelines apply:

- viii) No structure should be permitted in an area subject to flooding without approval of the Ministry of Environment.

RECEIVED
 NOV 01 2007
 CITY OF PARKSVILLE

THE SUSTAINABLE COMMUNITY BUILDER CHECKLIST



City of PARKSVILLE

The Sustainable Community Builder Checklist

	Yes	No	Explanation
Environmental Protection and Enhancement Please explain how the development protects and/or enhances the natural environment. For example does your development: <ul style="list-style-type: none"> • conserve, restore, or improve native habitat? • remove invasive species? • involve innovative ways to reduce waste, and protect the air quality? • include an ecological inventory? 	✓ ✓ ✓ ✓		- Providing ponds for fish spawning habitat - Fish eating invasive bugs as mosquitoes, etc. - Geothermal heating reduces 75% Carbon Fuel Consumption - As per EBA Report
Please explain how the development contributes to the more efficient use of energy. For example does your development: <ul style="list-style-type: none"> • use climate sensitive design features (passive solar, minimize the impact of wind, and rain, etc.)? • provide onsite renewable energy generation such as solar energy or geothermal heating? • propose buildings constructed in accordance with LEED, and the accepted green building standards? 	✓ ✓ ✓		- Use of Class "A" windows w/ low heat loss - Geothermal heating and cooling - Use construction materials that have long durability - Use suppliers and manufactures locally which will minimize pollutants by fuel emission
Please explain how the development facilitates good environmentally friendly practices. For example does your development: <ul style="list-style-type: none"> • provide onsite composting facilities? • provide an area for a community garden? • include a car free zone? • include a car share program? 	✓ ✓ ✓	✓	- All plant and grass waste to be mulched onsite - Garden area provided in the amenity area for residents - Bicycle racks to be provided to encourage alternate use other than cars

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	Yes	No	Explanation
<p>Please explain how the development contributes to the more efficient use of water. For example does your development:</p> <ul style="list-style-type: none"> • use drought tolerant plants? • use rocks and other materials in the landscaping design that are not water dependant? • recycle water and wastewater? • provide for zero stormwater run-off? • utilize natural systems for sewage disposal and storm water? • use low flush toilets? 	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>	<p>- Many of plant materials are drought tolerant and less dependant on water</p> <p>- landscape materials such as rock used</p> <p>- Use of low water flow toilets and showers</p>
<p>Please explain how the development protects, enhances or minimizes its impact on the local natural environment. For example does your development:</p> <ul style="list-style-type: none"> • provide conservation measures for sensitive lands beyond those mandated by legislation? • cluster the housing to save remaining land from development and disturbance? • protect groundwater from contamination? 	<p>✓</p> <p>✓</p> <p>✓</p>		<p>- 40% of site is remaining, as natural area for riparian and fish habitat</p>
Community Character and Design			
<p>Does the development proposal provide for a more "complete community" within a designated Village Centre? For example does your development:</p> <ul style="list-style-type: none"> • improve the mix of compatible uses within an area? • provide services, or an amenity in close proximity to a residential area? • provide a variety of housing in close proximity to a public amenity, transit, or commercial area? 	<p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p>	<p>- Site is located one block north of highway for transit and auto commute</p> <p>- Multifamily development within a single family and tourist uses</p>
<p>Please explain how the development increased the mix of housing types and options in the community. For example does our development:</p> <ul style="list-style-type: none"> • provide a housing type other than single family dwellings? • include rental housing? • include seniors housing? • include cooperative housing? 	<p>✓</p>	<p>✓</p> <p>✓</p> <p>✓</p>	<p>- To provide multi-family housing</p>

	Yes	No	Explanation
<p>Please explain how the development makes for a safe place to live. For example does your development:</p> <ul style="list-style-type: none"> • have fire protection, or include fire prevention measures such as removal of dead fall, onsite pumps, etc? • help prevent crime through the site design? • slow traffic through the design of the road? 	<p>✓</p> <p>✓</p> <p>✓</p>		<p>- Fire sprinklers are provided as well as onsite Fire Hydrants</p> <p>- Crime prevention by all residents as homes are clustered and overview open areas.</p> <p>- Use of colour and textured paving materials at entrance area</p> <p>- Reduced road widths slow traffic</p>
<p>Please explain how the development facilitates and promotes pedestrian movement. For example does your development:</p> <ul style="list-style-type: none"> • create green spaces or strong connections to adjacent natural features, parks and open spaces? • promote, or improve trails and pedestrian amenities? • link to amenities such as school, beach & trails, grocery store, public transit, etc.? (provide distance & type) 	<p>✓</p> <p>✓</p> <p>✓</p>		<p>- Trail system (public) links people to river and ocean to encourage walking</p> <p>- Split sidewalk and curb promotes pedestrian safety</p> <p>- 40% of the site is developed as natural area connecting to adjacent Englishman River</p>
<p>Please explain how the development facilitates community social interaction and promotes community values. For example does your development:</p> <ul style="list-style-type: none"> • incorporate community social gathering places? (village square, halls, youth and senior facilities, bulletin board, wharf, or pier) • use colour and public art to add vibrancy and promote community values • preserve heritage features? 	<p>✓</p> <p>✓</p> <p>✓</p>		<p>- Provided community open space including community park, picnic area and mail/bulletin board.</p> <p>- Use of information boards at gathering areas at ponds</p>
Economic Development			
<p>Does the development proposal infill an existing developed area, as opposed to opening up a new area to development? For example does your development:</p> <ul style="list-style-type: none"> • fill in pre-existing vacant parcels of land? • utilize pre-existing roads and services? • revitalize a previously contaminated area? 	<p>✓</p> <p>✓</p> <p>✓</p>		<p>- This is an infill development to deal with a floodplain area, and former gravel pit, to create a positive addition to the neighbourhood.</p>

disturbed

	Yes	No	Explanation
Please explain how the development strengthens the local economy. For example does your development: <ul style="list-style-type: none"> • create permanent employment opportunities? • promote diversification of the local economy via business type and size appropriate for the area? • increase community opportunities for training, education, entertainment, or recreation? • use local materials and labour? • improve opportunities for new and existing businesses? 	✓ ✓ ✓	✓ ✓	-Encourage home offices - Addition of 44 homeowners of a diverse age group, adding to the local economy -This project will provide a positive opportunity for all businesses before, during and after construction.
Please explain if there is something unique or innovative about your project that has not been addressed?			
Total Number of "Yes"	34 /44		
SCORE	77 %		

Disclaimer: Please note that Staff is relying on the information provided by the applicant to complete the sustainability checklist analysis. The City of Parkville does not guarantee that development will occur in this matter.

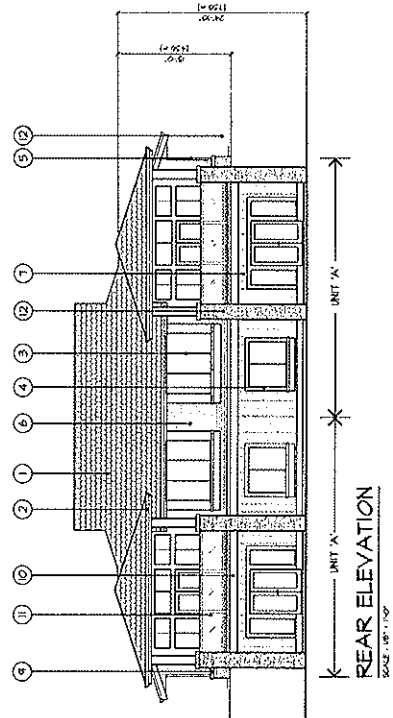
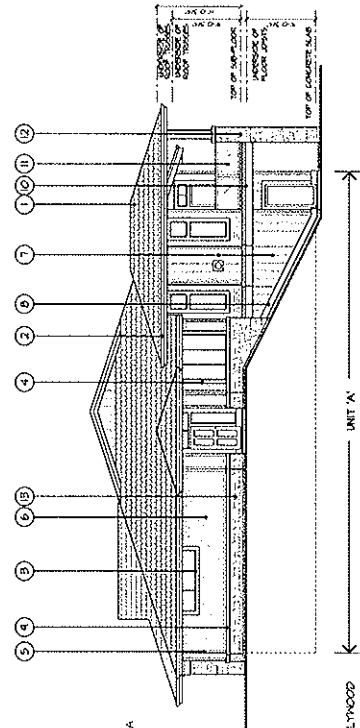
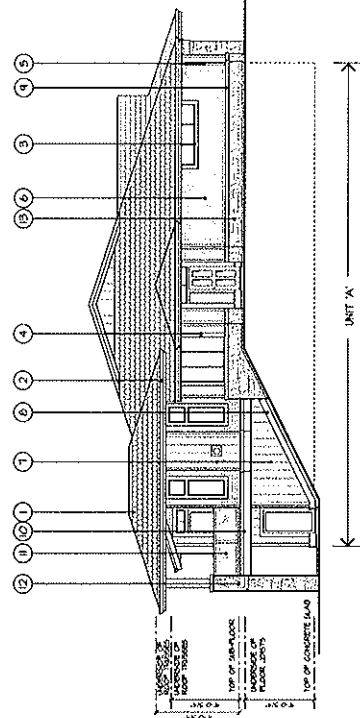
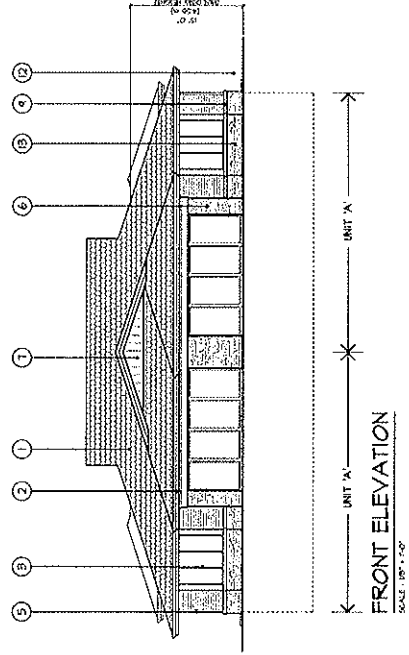
RECEIVED
 FEB 27 2009
 PLANNING
 CITY OF PARKSVILLE

NO.	DATE	BY	CHK	REV	DESCRIPTION

PROJECT: PROPOSED RANCHER STYLE TOWNHOUSE
 SHEET CONTAINS: BUILDING ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 01/13/09
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]

CLIENT: 614011 B.C. LTD.
 109/174 TURNER ROAD
 UNIT 13A
 2538 LW STREET,
 VANCOUVER, B.C.
 V6K 1Y6
 PHONE: (604) 597-7100
 FAX: (604) 597-2999
 EMAIL: info@barnett-dembek.com

barnett dembek
 ARCHITECTS INC.
 UNIT NO: 304
 AC: 31
 PROJECT NO: C5041
 SHEET NO: [Redacted]
 DATE: [Redacted]



SCHEDULE OF FINISHES

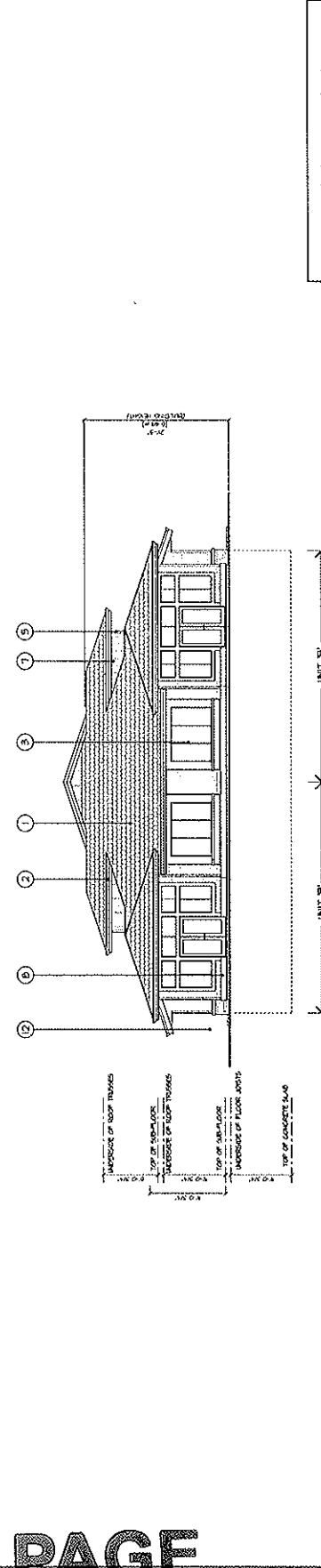
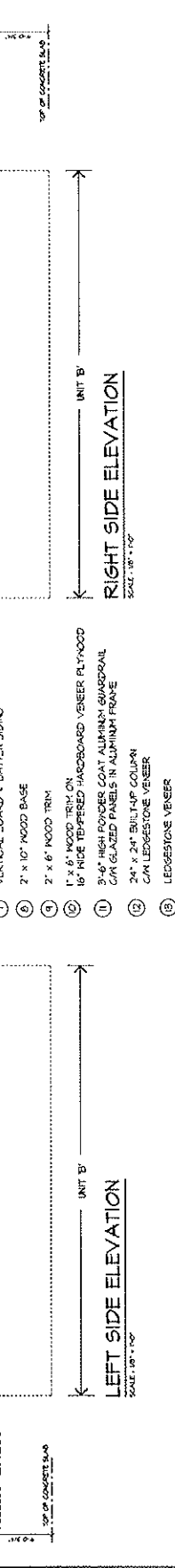
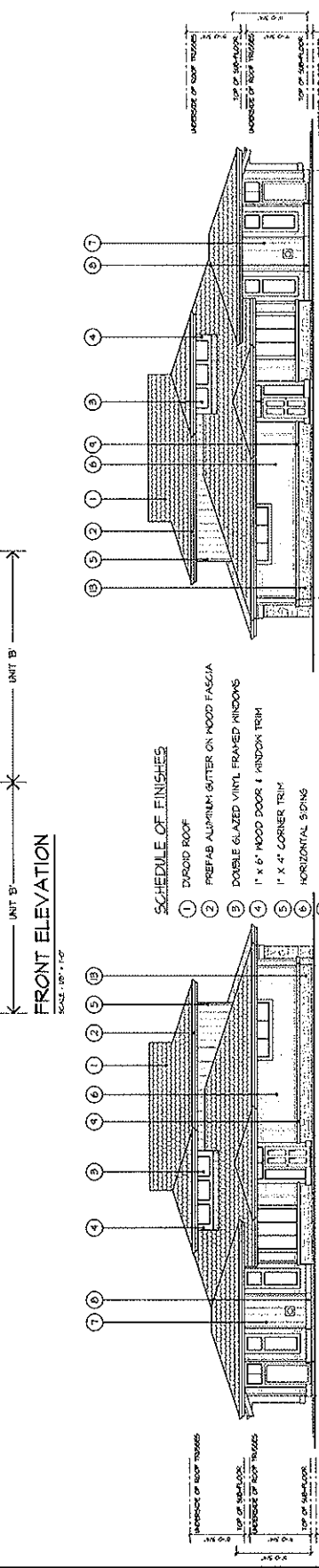
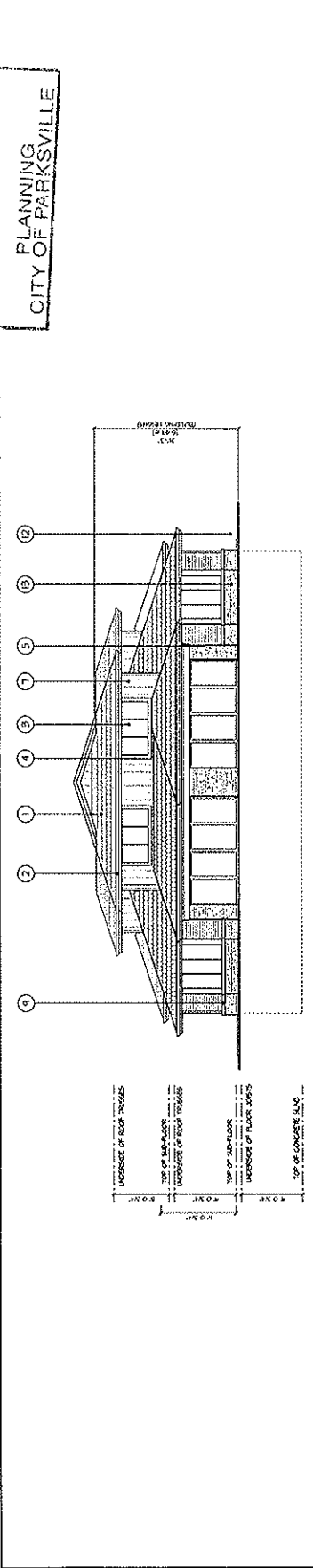
- 1 DUCROID ROOF
- 2 PREFAB ALUMINUM GUTTER OR WOOD FASCIA
- 3 DOUBLE GLAZED VINYL FRAMED WINDOWS
- 4 1" x 6" WOOD DOOR & WINDOW TRIM
- 5 1" x 4" CORNER TRIM
- 6 HORIZONTAL SIDING
- 7 VERTICAL BOARD & BATTEN SIDING
- 8 2" x 10" WOOD BASE
- 9 2" x 6" WOOD TRIM
- 10 1" x 6" WOOD TRIM OR 1/2" WIDE TEMPERED HARDBOARD VENEER PLYWOOD
- 11 3/4"-6" HIGH FORTNER COAT ALUMINUM GRABRAIL
- 12 24" x 24" BUILT-UP COLUMN
- 13 C/M LEDGESTONE VENEER
- 14 LEDGESTONE VENEER

BUILDING HEIGHT: 8.6071 M.
 DIVISION OF THE FOUR CORNERS OF THE BUILDING

BUILDING TYPE I

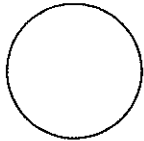
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 PLANNING
 CITY OF PARKSVILLE

DATE: 6/20/11	DESIGN: 6/20/11
DRAWN: 6/20/11	PROJECT NO: 103/194 TRINER ROAD
SCALE: 1/8" = 1'-0"	SHEET CONTENTS: BUILDING ELEVATIONS
PROJECT: PROPOSED PARKER STYLE TOWNHOUSE CLIENT: BIRCH B.C. LTD. 103/194 TRINER ROAD PARKERSVILLE, OHIO 44130 PHONE: (440) 597-7100 FAX: (440) 597-7101 EMAIL: info@barnett-dembek.com	
DATE: 6/20/11	REV: 01
DATE: 6/20/11	REV: 02
DATE: 6/20/11	REV: 03
DATE: 6/20/11	REV: 04
DATE: 6/20/11	REV: 05
DATE: 6/20/11	REV: 06
DATE: 6/20/11	REV: 07
DATE: 6/20/11	REV: 08
DATE: 6/20/11	REV: 09
DATE: 6/20/11	REV: 10
DATE: 6/20/11	REV: 11
DATE: 6/20/11	REV: 12
DATE: 6/20/11	REV: 13
DATE: 6/20/11	REV: 14
DATE: 6/20/11	REV: 15
DATE: 6/20/11	REV: 16
DATE: 6/20/11	REV: 17
DATE: 6/20/11	REV: 18
DATE: 6/20/11	REV: 19
DATE: 6/20/11	REV: 20



- SCHEDULE OF FINISHES**
- 1 DROID ROOF
 - 2 PREFAB ALUMINUM/GUTTER ON HOOD FASCIA
 - 3 DOUBLE GLAZED VINYL FRAMED WINDOWS
 - 4 1" X 6" WOOD DOOR & WINDOW TRIM
 - 5 1" X 4" CORNER TRIM
 - 6 HORIZONTAL SIDING
 - 7 VERTICAL BOARD & BATTEN SIDING
 - 8 2" X 10" WOOD BASE
 - 9 2" X 6" WOOD TRIM
 - 10 1" X 6" WOOD TRIM ON
 - 11 1/2" WIDE TYPED HARDBOARD VENEER FLY-WOOD
 - 12 2" X 4" WOOD TRIM ON ALUMINUM GROUNDWALL
 - 13 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 14 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 15 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 16 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 17 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 18 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 19 2" X 4" WOOD TRIM ON ALUMINUM FRAME
 - 20 2" X 4" WOOD TRIM ON ALUMINUM FRAME

BUILDING TYPE 2



TURNER ROAD
TOWNHOME
TURNER RD.
PARKVILLE, B.C.

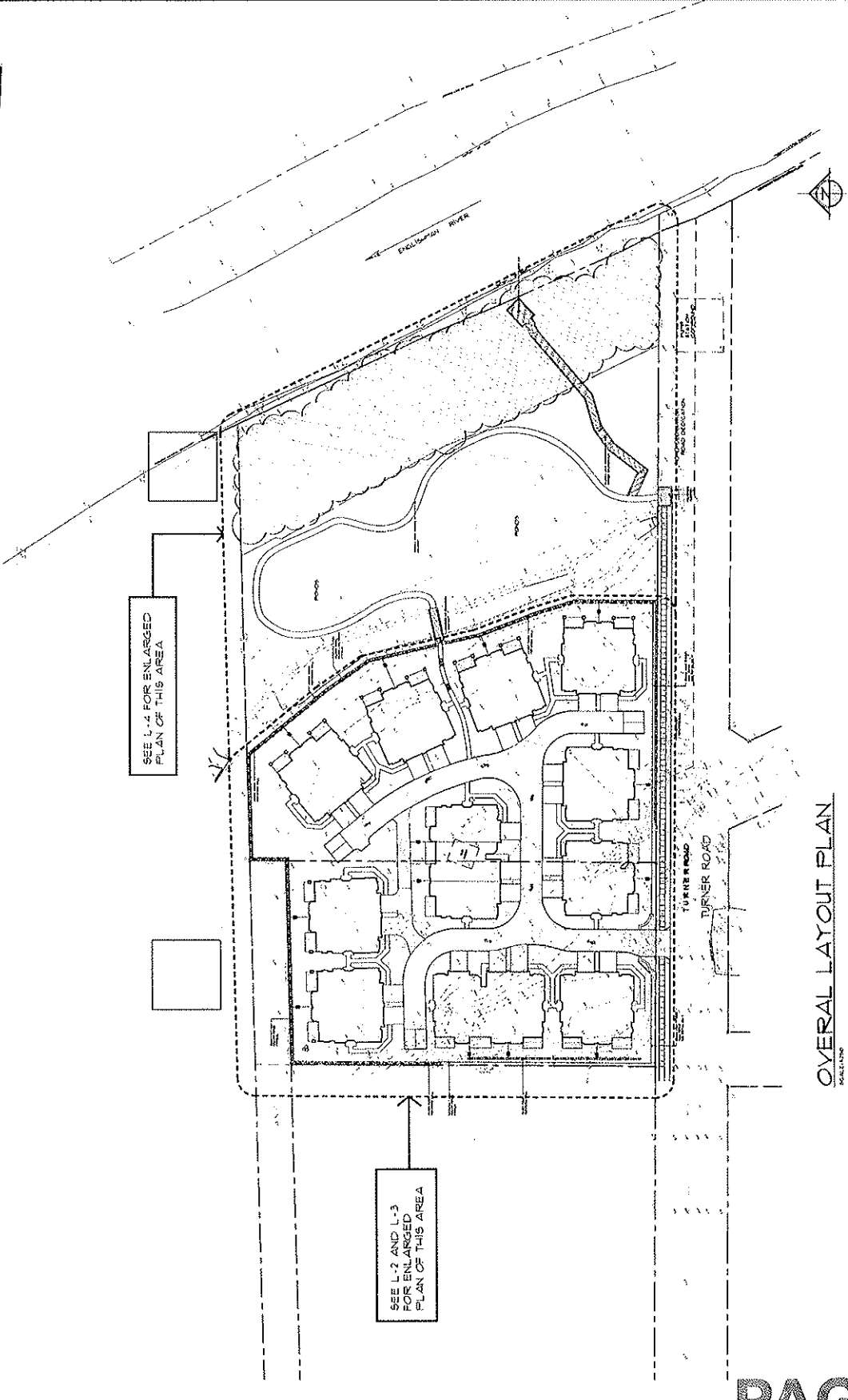
DATE	1/27/09
PROJECT NO.	0728
SCALE	1:500
DATE	FEBRUARY 2009
PROJECT	TURNER ROAD TOWNHOME
CLIENT	TURNER ROAD TOWNHOME
DESIGNER	GRAVEN/USTON/POWERS ARCHITECTS
ARCHITECT	GRAVEN/USTON/POWERS ARCHITECTS
LANDSCAPE ARCHITECT	GRAVEN/USTON/POWERS ARCHITECTS
PLANNING	GRAVEN/USTON/POWERS ARCHITECTS
ENGINEER	GRAVEN/USTON/POWERS ARCHITECTS
CONTRACTOR	GRAVEN/USTON/POWERS ARCHITECTS

PROJECT NO.	0728
SCALE	1:500
DATE	FEBRUARY 2009
PROJECT	TURNER ROAD TOWNHOME
CLIENT	TURNER ROAD TOWNHOME
DESIGNER	GRAVEN/USTON/POWERS ARCHITECTS
ARCHITECT	GRAVEN/USTON/POWERS ARCHITECTS
LANDSCAPE ARCHITECT	GRAVEN/USTON/POWERS ARCHITECTS
PLANNING	GRAVEN/USTON/POWERS ARCHITECTS
ENGINEER	GRAVEN/USTON/POWERS ARCHITECTS
CONTRACTOR	GRAVEN/USTON/POWERS ARCHITECTS



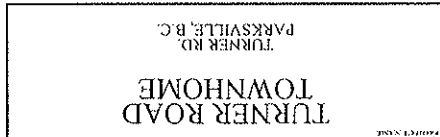
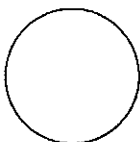
GRAVEN/USTON/POWERS ARCHITECTS ARCHITECTS AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLWACK B.C., V2P 4S3 TEL: 793-9445

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CITY OF PARKVILLE



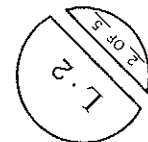
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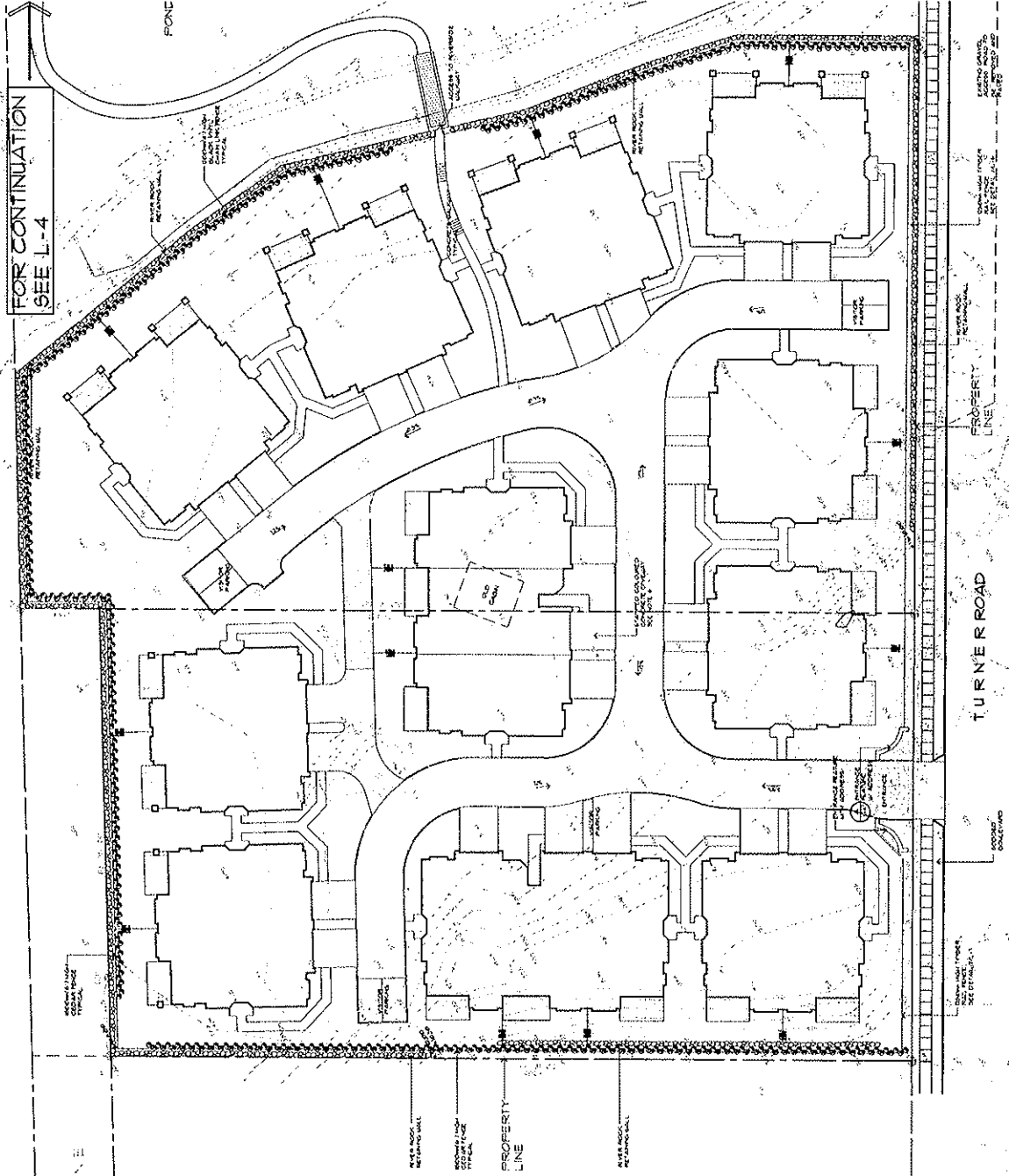
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DATE	FEBRUARY 2009
SCALE	1/8" = 1'-0"
DESIGNED BY	GRAVENSTON/POWERS ARCHITECTS
CHECKED BY	
DATE	
PROJECT NAME	ENLARGED LAYOUT PLAN-BUILDING SITE
CLIENT	LANSING HOUSING SOCIETY
ADDRESS	TURNER ROAD, PARKVILLE, B.C.
OWNER	
DATE	

PROJECT NO.	0728
DATE	FEBRUARY 2009
SCALE	1/8" = 1'-0"
DESIGNED BY	GRAVENSTON/POWERS ARCHITECTS
CHECKED BY	
DATE	
PROJECT NAME	ENLARGED LAYOUT PLAN-BUILDING SITE
CLIENT	LANSING HOUSING SOCIETY
ADDRESS	TURNER ROAD, PARKVILLE, B.C.
OWNER	
DATE	



GRAVENSTON/POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: 793-9445

RECEIVED
FEB 27 2009
PLANNING
CITY OF PARKVILLE



- GENERAL NOTES**
- REFER TO CIVIL ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF NEW SERVICES AND TRENCHING.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SUBSURFACE UTILITIES.
 - ALL GRADES TO MEET EXISTING AT ADJACENT PROPERTY LINE.
 - CONTRACTOR TO BE RESPONSIBLE FOR ALL DAMAGE TO ADJACENT PROPERTY; PLEASE GOOD WORK TO BE TO THE SATISFACTION OF CITY OF PARKVILLE.
 - ALL PLANTING BEDS TO BE CULTIVATED AND MULCHED.
 - COLOUR AND PATTERN TO BE SELECTED BY LANDSCAPE ARCHITECT OR ARCHITECT.

- LEGEND:**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR LINE
 - PROPOSED MAJOR CONTOUR LINE
 - PROPOSED MINOR CONTOUR LINE

ENLARGED LAYOUT PLAN-BUILDING SITE

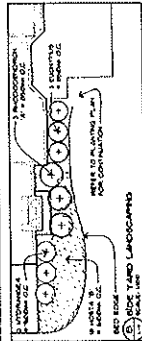
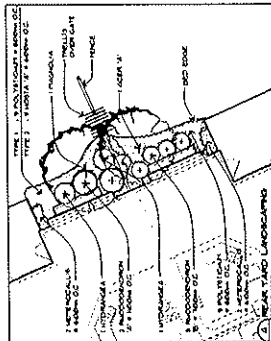
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 PLANNING
 CITY OF PARKSVILLE

GENERAL NOTES

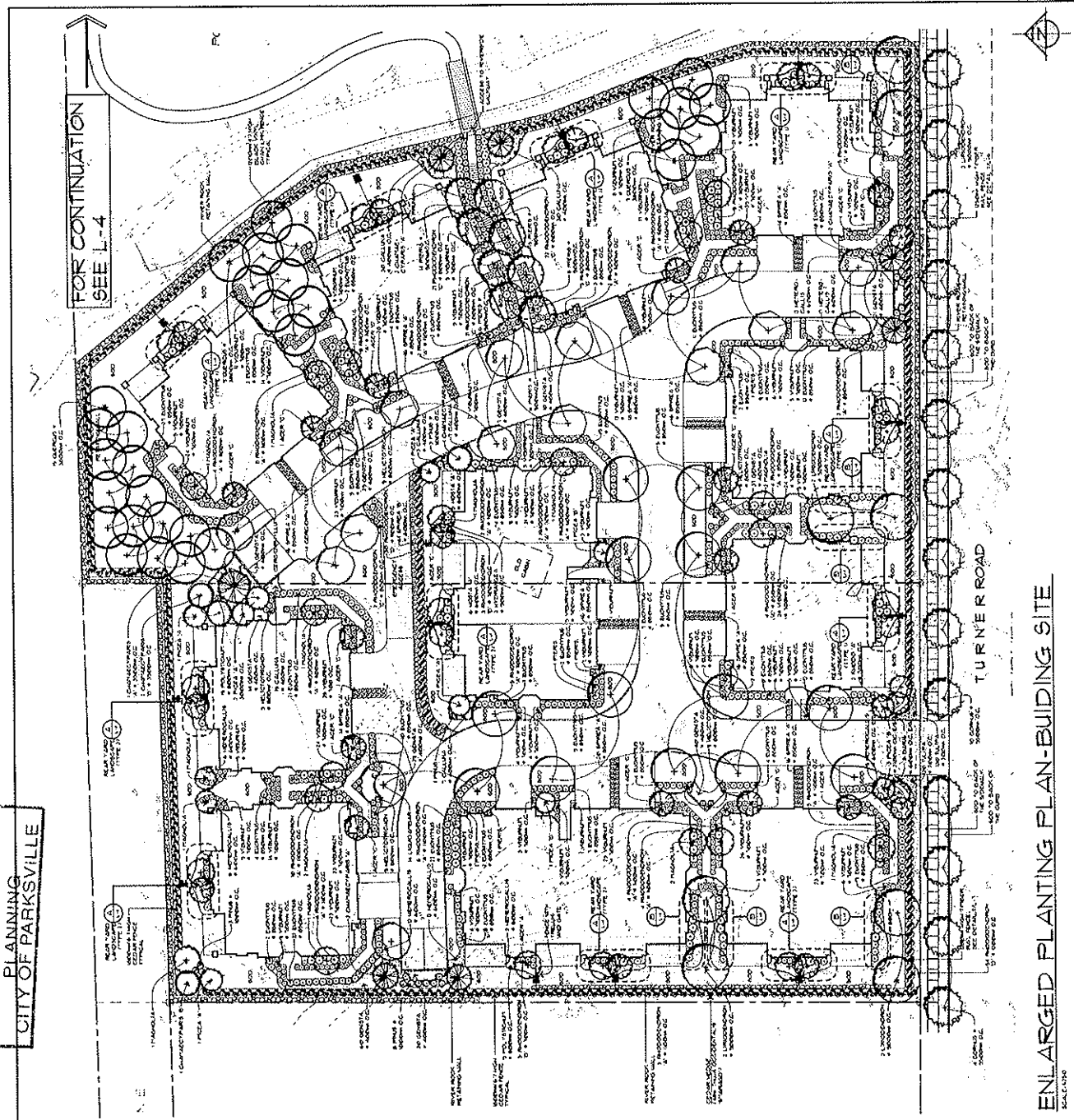
1. REFER TO CIVIL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR EXTENT OF NEW SERVICES AND TRENCHING.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SUBSURFACE UTILITIES.
3. ALL GRADES TO MEET EXISTING AT ADJACENT PROPERTY LINE.
4. CONTRACTOR TO BE RESPONSIBLE FOR ALL DAMAGE TO ADJACENT PROPERTY, MAKE GOOD ANY DAMAGE TO THE SATISFACTION OF CITY OF PARKSVILLE.
5. ALL PLANTING BEDS TO BE CULTIVATED AND MULCHED.
6. COLOUR AND PATTERNS TO BE SELECTED BY LANDSCAPE ARCHITECT OR ARCHITECT.

LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE



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 74



TURNER ROAD TOWNHOME
 TURNER RD.
 PARKSVILLE, B.C.

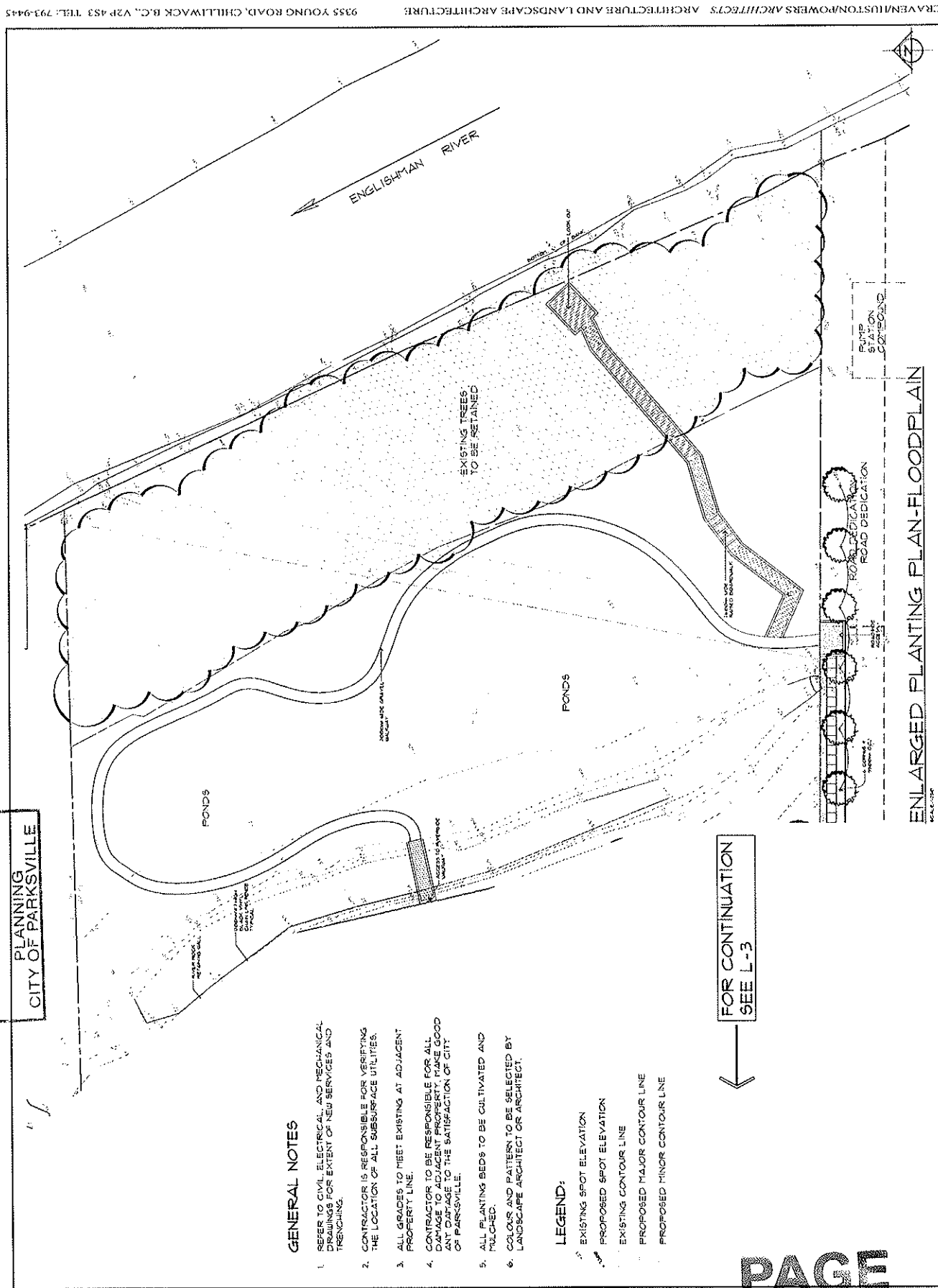
ARCHITECT NAME
 CRAVEN/STONEMEN ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE
 9355 YOUNG ROAD, CHILLWACK B.C. V2P 4S3 TEL: 793-9445

PROJECT NUMBER	0728
SCALE	1/50
DATE	FEBRUARY 2009
DESIGNED BY	LANDSCAPE ARCHITECTURE
DRAWN BY	LANDSCAPE ARCHITECTURE
CHECKED BY	LANDSCAPE ARCHITECTURE
DATE	02/23/09

ENLARGED PLANTING PLAN-BUILDING SITE

3 OF 5
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RECEIVED
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 PLANNING
 CITY OF PARKSVILLE



GENERAL NOTES

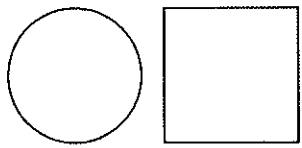
1. REFER TO CIVIL, ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF NEW SERVICES AND TRENCHING.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SUBSURFACE UTILITIES.
3. ALL GRADES TO MEET EXISTING AT ADJACENT PROPERTY LINE.
4. CONTRACTOR TO BE RESPONSIBLE FOR ALL DAMAGE TO ADJACENT PROPERTY, MAKE GOOD AND COMPENSATE TO THE SATISFACTION OF CITY OF PARKSVILLE.
5. ALL PLANTING BEDS TO BE CULTIVATED AND MULCHED.
6. COLORS AND PATTERNS TO BE SELECTED BY LANDSCAPE ARCHITECT OR ARCHITECT.

LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE

FOR CONTINUATION
 SEE L-3

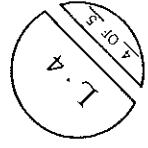
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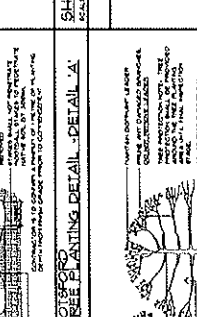
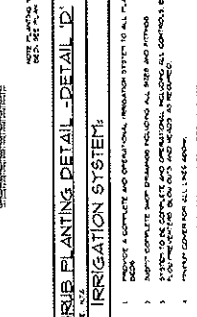
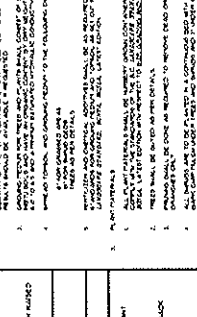
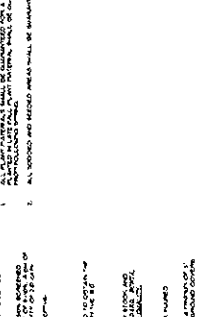
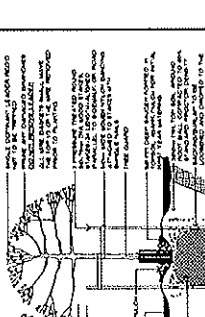
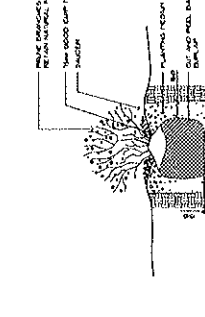
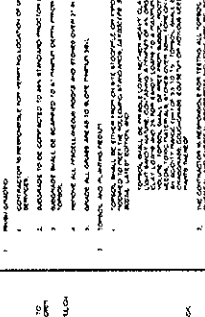
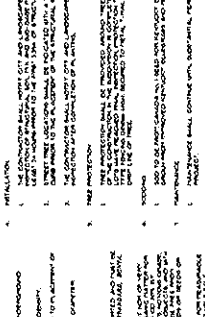


TURNER ROAD
 TOWNHOME
 TURNER RD.
 PARKSVILLE B.C.

PROJECT NUMBER	0728
DATE	1991
PROJECT NAME	ENLARGED PLANTING PLAN-FLOODPLAIN
CLIENT	TURNER ROAD TOWNHOME
DESIGNER	GRAVENHASTON/POWERS ARCHITECTS
SCALE	AS SHOWN
DATE	1991

PROJECT NUMBER	0728
DATE	1991
PROJECT NAME	ENLARGED PLANTING PLAN-FLOODPLAIN
CLIENT	TURNER ROAD TOWNHOME
DESIGNER	GRAVENHASTON/POWERS ARCHITECTS
SCALE	AS SHOWN
DATE	1991





LANDSCAPE SPECIFICATIONS

1. CONSTRUCTION RESPONSIBLE FOR WATER IRRIGATION OF LANDSCAPE SHALL BE COMPLETED TO SATISFACTORY COMPLETION.
2. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.
3. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.
4. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.
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8. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.
9. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.
10. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE ENTIRE AREA OF THE PROJECT.

PLANT LIST

PLANT	QUANTITY	SIZE	NOTES
1. ACER FRAXINOSA	10	12" x 12" x 12"	...
2. QUERCUS ROBUR	10	12" x 12" x 12"	...
3. PRUNUS AERUGINOSA	10	12" x 12" x 12"	...
4. VIBURNUM OPULIFOLIUM	10	12" x 12" x 12"	...
5. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...
6. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...
7. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...
8. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...
9. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...
10. SPARGANGLIUM ANGENSIS	10	12" x 12" x 12"	...

NOTE: PLANT LIST QUANTITIES ARE FOR CONFORMANCE ONLY IN THE CASE OF ANY CHANGES TO THE PLAN, THE PLAN SHALL GOVERN.

NOTE: NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. ANY CHANGES TO THE PLANT LIST SHALL BE NOTED ON THE PLAN AND SHALL GOVERN.

COMMITTEE OF THE WHOLE REPORT

AGENDA
COMMITTEE
APR 27 2009
DATE

April 15, 2009

MEMO TO: F. C. MANSON, C.G.A., CHIEF ADMINISTRATIVE OFFICER

FROM: G. A. JACKSON, DIRECTOR OF COMMUNITY PLANNING

SUBJECT: APPLICATION FOR A DEVELOPMENT PERMIT TO PERMIT A 3-STOREY MIXED USE BUILDING WITH A COMMERCIAL/RETAIL UNIT AND PARKING ON THE GROUND FLOOR; 2ND FLOOR PROFESSIONAL OFFICE SPACE AND A 3RD FLOOR THAT CONTAINS 2 RESIDENTIAL UNITS ON LOT 33, DISTRICT LOT 13, NANOOSE DISTRICT, PLAN 1565 [173 WELD STREET] REGISTERED OWNERS: 449631 B.C. LTD., (INC #449631) APPLICANT: TIMBERLAKE-JONES ENGINEERING, M. T. JONES, P. ENG. OUR FILE NO: 3060-09-01

Issue:

Consideration of a development permit to permit a 3-storey mixed use building with a commercial/retail unit and parking on the ground floor; 2nd floor professional office space and 3rd floor that contains 2 residential units.



Executive Summary:

On March 4, 2009, the City received a development permit application from Timberlake-Jones Engineering, M.T. Jones, P. Eng. on behalf of the owners of the property. The site is located on the west side of Weld Street within the Downtown Core Area. The applicant is requesting the issuance of a development permit to authorize a 3-storey mixed use building with a commercial/retail unit and parking on the ground floor; 2nd floor professional office space and

**APPLICATION FOR A DEVELOPMENT
PERMIT TO PERMIT A 3-STOREY MIXED
USE BUILDING**

3rd floor that contain 2 residential units. The subject property is within Development Permit Area No. 1 - DOWNTOWN CORE. The development permit designation is under the Form and Character, and Revitalization categories.

References:

Refer to Schedule "A" attached to and forming part of this report.

Background:

The Department of Community Planning's technical review of the proposal is complete. The current proposal meets the requirements and guidelines of both the Zoning and Official Community Plan. The proposal was reviewed by the Advisory Design Panel, initially on March 19, 2009 and subsequently on April 9, 2009 after some design changes were made as a result of the initial comments. The Advisory Design Panel recommendation to Council is as follows:

"**That** Council should accept the design proposal based on drawings and presentations provided to the Advisory Design Panel for Lot 33, District Lot 13, Nanoose District, Plan 1565. **CARRIED**"

Options:

Council may:

1. Authorize Staff to issue a development permit for the proposed development.
2. Deny the development permit application.

Analysis:

1. Issuance of a development permit will establish the form and character of this development which is the first 3-storey single lot development to occur within the Downtown Core Area. Should this project be successful, it could set a positive precedent for further infill development of a similar scale.
2. Council can deny a development permit based only on the application not meeting the development permit guidelines or that insufficient information has been provided for Council to make an informed decision. Application deficiencies in meeting the guidelines would have to be clearly communicated to the applicant so that they may be addressed and made satisfactory. The ***Local Government Act*** does not provide Council with the discretionary ability to ultimately deny permit issuance.

Sustainability/Environmental Analysis:

The Sustainable Community Builder Checklist (see attached) has been completed in detail by the applicant.

Financial Implications:

There are no financial implications.

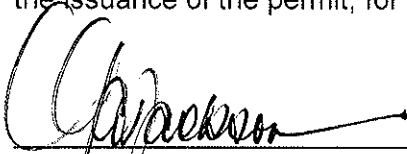
**APPLICATION FOR A DEVELOPMENT
PERMIT TO PERMIT A 3-STOREY MIXED
USE BUILDING**

Recommendation:

That the report from the Director of Community Planning dated April 15, 2009 for the issuance of a development permit at 173 Weld Street be received;

And That a development permit be issued to 449631 B.C. LTD., (INC #449631) to permit a 3-storey mixed use building with a commercial/retail unit and parking on the ground floor; 2nd floor professional office space and 3rd floor that contains 2 residential units on Lot 33, District Lot 13, Nanoose District, Plan 1565 (173 Weld Street);

And Further That a landscaping letter of credit in the amount of \$2,300.00 be received prior to the issuance of the permit, for the purpose of assuring the completion of site landscaping.

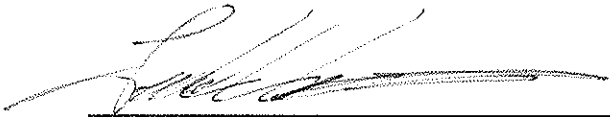


G. A. JACKSON

NG/sh
Attachments

\\Users\Planning\DPERMIT\2009\09-01\Report-1.

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:



F. MANSON, C.G.A.

Schedule "A" - References

1. Official Community Plan Bylaw 2002, No. 1370 Excerpt – 5.2.1. Development Permit Area No. 1 – Downtown Core
2. Sustainable Community Builder Checklist, date stamp received March 4, 2009 as prepared by Timberlake-Jones Engineering;
3. Applicant Development Permit Letter, date stamp received March 4, 2009 as prepared by Timberlake-Jones Engineering;
4. Location Plan, date stamp received April 15, 2009 as prepared by Timberlake-Jones Engineering;
5. Landscape Plan, date stamp received April 15, 2009 as prepared by Timberlake-Jones Engineering;
6. Architectural Plan 1 of 5, date stamp received April 15, 2009 as prepared by G.T. Burge Designs, Juris Voldemars Bergins MAIBC Architect, and Qualicum Engineering Services;
7. Architectural Plan 2 of 5, date stamp received April 15, 2009 as prepared by G.T. Burge Designs, Juris Voldemars Bergins MAIBC Architect, and Qualicum Engineering Services;
8. Architectural Plan 3 of 5, date stamp received April 15, 2009 as prepared by G.T. Burge Designs, Juris Voldemars Bergins MAIBC Architect, and Qualicum Engineering Services;
9. Architectural Plan 4 of 5, date stamp received April 15, 2009 as prepared by G.T. Burge Designs, Juris Voldemars Bergins MAIBC Architect, and Qualicum Engineering Services;
10. Architectural Plan 5 of 5, date stamp received April 15, 2009 as prepared by G.T. Burge Designs, Juris Voldemars Bergins MAIBC Architect, and Qualicum Engineering Services;

5.2.1. Development Permit Area No. 1 - DOWNTOWN CORE

a) Category: Revitalization/Form and Character

b) Justification:

This area is the commercial centre of Parksville which offers a wide variety of amenities for both residents and tourists. Uses include a mixture of commercial, business and personal services, and residential accommodation. With the shopping centres in Nanaimo only 20 minutes away and the smaller commercial centres located on the outskirts of the City, the need to present a viable, healthy commercial core is critical. Revitalization is the key to encouraging businesses to locate within the core and to creating a healthy core area.

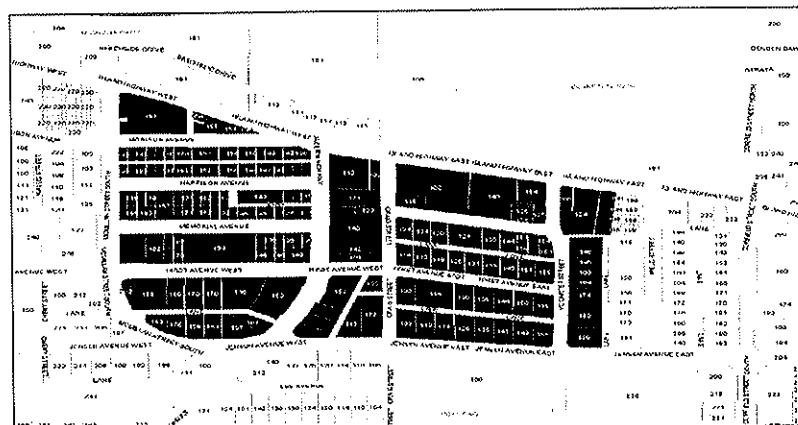
The **Minister of Municipal Affairs** has approved designation of this area as a "revitalization" area under **Section 945(4)(d) of the *Municipal Act***. The objective of this development permit area designation is to revitalize the core area by enhancing the form and character of the area through the promotion of architectural particulars and landscaping.

c) Guidelines:

Development of the Downtown Core area shall proceed in accordance with the *Downtown Master Plan and Development Guidelines* attached to and forming part of this bylaw as Appendix I.

d) Parking Variances: (AMENDMENT BYLAW NO. 1370.5)

Parking variances may be granted (up to 100%), for commercial uses on sites within the area shown on the map below, in cases where the character of the development, site utilization, and the streetscape are improved by having a site layout and streetscape uninterrupted by parking areas.



THE SUSTAINABLE COMMUNITY BUILDER CHECKLIST

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The Sustainable Community Builder Checklist

Environmental Protection and Enhancement			
Please explain how the development protects and/or enhances the natural environment. For example does your development:			
	YES	NO	EXPLANATION
1.		✓	N/A
2.		✓	N/A
3.	✓		RECYCLING AREA TO BE PROVIDED IN GARBAGE COLLECTION AREA.
4.		✓	N/A
Please explain how the development contributes to the more efficient use of energy. For example does your development:			
	YES	NO	EXPLANATION
5.	✓		ICF CONSTRUCTION TO REDUCE ENERGY CONSUMPTION AND PROVIDE PROTECTION.
6.		✓	
7.	✓		WILL UTILIZE GREEN BUILDING STANDARDS BUT NOT LEED CERTIFICATION.

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Please explain how the development facilitates good environmentally friendly practices. For example does your development:

		YES	NO	EXPLANATION
8.	Provide onsite composting facilities?		✓	
9.	Provide an area for a community garden?		✓	
10.	Include a car free zone?		✓	
11.	Include a car share program?		✓	

Please explain how the development contributes to the more efficient use of water. For example does your development:

		YES	NO	EXPLANATION
12.	Use drought tolerant plants?	✓		
13.	Use rocks and other materials in the landscaping design that are not water dependant?	✓		
14.	Recycle water and wastewater?		✓	
15.	Provide for zero stormwater run-off?		✓	
16.	Utilize natural systems for sewage disposal and storm water?		✓	
17.	Use low flush toilets?	✓		

Please explain how the development protects, enhances or minimizes its impact on the local natural environment. For example does your development:

		YES	NO	EXPLANATION
18.	Provide conservation measures for sensitive lands beyond those mandated by legislation?		✓	N/A
19.	Cluster the housing to save remaining land from development and disturbance?		✓	N/A
20.	Protect groundwater from contamination?		✓	N/A

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Please explain how the development protects a 'dark sky' aesthetic by limiting light pollution and light trespass from outdoor lighting. For example does your development:

	YES	NO	EXPLANATION
21. Include <u>only</u> "Shielded" Light Fixtures, where 100% of the lumens emitted from the Light Fixture are projected below an imaginary horizontal plane passing through the highest point on the fixture from which light is emitted?	✓		MINIMAL EXTERIOR LIGHTING PROPOSED ALL LIGHTS WILL BE SHIELDED.

Community Character and Design

Does the development proposal provide for a more "complete community" within a designated Village Centre? For example does your development:

	YES	NO	EXPLANATION
22. Improve the mix of compatible uses within an area?	✓		MIXTURE OF RETAIL/OFFICE & RESIDENTIAL
23. Provide services, or an amenity in close proximity to a residential area?	✓		RETAIL & OFFICE SPACE NEAR PROPOSED RESIDENTIAL DEVELOPMENT ON JENSEN
24. Provide a variety of housing in close proximity to a public amenity, transit, or commercial area?	✓		UNIQUE HOUSING FORM PROVIDE IN DOWNTOWN CORE NEAR BEACH/TRANSIT/AND COMMERCIAL

Please explain how the development increased the mix of housing types and options in the community. For example does your development:

	YES	NO	EXPLANATION
25. Provide a housing type other than single family dwellings?	✓		2 CONDO'S PROPOSED.
26. Include rental housing?		✓	POSSIBLE
27. Include seniors housing?		✓	NOT SPECIFICATELY
28. Include cooperative housing?		✓	

Please explain how the development addresses the need for attainable housing in Parksville. For example does your development:

	YES	NO	EXPLANATION
29. Include the provisioning of Affordable Housing units?		✓	UNITS DESIGNED FOR CLIENT OCCUPATION.

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Please explain how the development makes for a safe place to live. For example does your development:

		YES	NO	EXPLANATION
30.	Have fire protection, or include fire prevention measures such as removal of dead fall, onsite pumps, etc?	✓		ICF CONSTRUCTION AND FULL SPRINKLER SYSTEM TO MINIMIZE REQUIREMENTS
31.	Help prevent crime through the site design?	✓		PROPERTY DESIGNED WITH SECURE PARKING & KEYED ELEVATOR ACCESS TO RES. UNITS.
32.	Slow traffic through the design of the road?		✓	ROAD TO CITY STANDARD

Please explain how the development facilitates and promotes pedestrian movement. For example does your development:

		YES	NO	EXPLANATION
33.	Create green spaces or strong connections to adjacent natural features, parks and open spaces?		✓	N/A
34.	Promote, or improve trails and pedestrian amenities?		✓	N/A
35.	Link to amenities such as school, beach & trails, grocery store, public transit, etc.? (provide distance & type)		✓	

Please explain how the development facilitates community social interaction and promotes community values. For example does your development:

		YES	NO	EXPLANATION
36.	Incorporate community social gathering places? (village square, halls, youth and senior facilities, bulletin board, wharf, or pier)		✓	
37.	Use colour and public art to add vibrancy and promote community values		✓	FOLLOWS DOWNTOWN CORE GUIDELINES
38.	Preserve heritage features?		✓	N/A.

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Economic Development				
Does the development proposal infill an existing developed area, as opposed to opening up a new area to development? For example does your development:				
	YES	NO	EXPLANATION	
39.	Fill in pre-existing vacant parcels of land?	✓		IN FILL EXISTING VACANT LOT IN DOWNTOWN CORE
40.	Utilize pre-existing roads and services?	✓		EXISTING ROADS & SERVICES IN PLACE.
41.	Revitalize a previously contaminated area?		✓	N/A
Please explain how the development strengthens the local economy. For example does your development:				
	YES	NO	EXPLANATION	
42.	Create permanent employment opportunities?	✓		RETAIL & OFFICE SPACE
43.	Promote diversification of the local economy via business type and size appropriate for the area?	✓		
44.	Increase community opportunities for training, education, entertainment, or recreation?		✓	
45.	Use local materials and labour?	✓		LOCAL OWNER, CONTRACTOR, SUPPLIER.
46.	Improve opportunities for new and existing businesses?	✓		RETAIL & OFFICE SPACE
B O N U S	Please explain if there is something unique or innovative about your project that has not been addressed?			
Total Number of "Yes"		19 _{/46}		Disclaimer: Please note that Staff is relying on the information provided by the applicant to complete the sustainability checklist analysis. The City of Parksville does not guarantee that development will occur in this matter.
SCORE		41 %		

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Timberlake - Jones

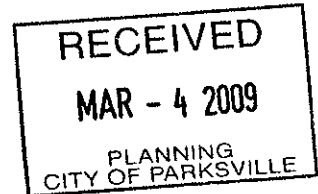
e n g i n e e r i n g

Ph: 250 248 2001
Fax: 250 248 2553
E-mail: info@tjeng.ca

*328 - 198 E. Island Hwy.
P.O. Box 89
Parksville, BC V9P 2G3

March 3, 2009
File: 0189

City of Parksville
100 Jensen Ave.
PO Box 1390
Parksville, BC V9P 2H3



Attention: Gayle Jackson
Director of Community Planning

Dear Gayle:

**Re: Development Permit for proposed Mini-Storage Expansion on
Lot 33, District Lot 13, Nanoose District, Plan 1565**

173 Weld Street

Registered Owners: 449631 BC Ltd.

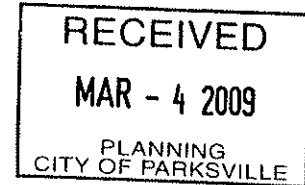
As agent for the registered owner of the above noted properties, we herein submit our application for Development Permit as follows:

- Completed Application form;
- Title Search dated February 20, 2009
- BC Company Summary for 449631 BC Ltd.
- Legal Plan showing the existing property & proposed Road Dedication
- Site and Elevation Plans as follows
 - 4 sets at full scale
 - 1 reduced copy (8¹/₂ x 11)
 - 0189-S Site Plan
 - B4002-1 through 5 Floor & Elevation Plans
- Landscape Plans as prepared by Joslin Enterprises
 - 4 sets at full scale
 - 1 reduced copy (8¹/₂ x 11)
- Sustainable Community Builder Checklist
- Landscaping Estimate for security purposes in the amount of \$2,150.00 as prepared by Joslin Enterprises.
- Cheque No. 3360 from Timberlake Jones Engineering in the amount of \$2,381.00 in payment of applicable fees calculated as follows:

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- Development Permit Application
\$500 + \$1,146.00 (764 x \$1.50)
- Water Model Analysis
\$420.00 (400 + GST)
- Sewer Analysis
\$315.00 (\$300 =GST)
- Engineering Pre-Design Submission as prepared by TJE as follows:
 - Dwg. No. 0189-01-01 Preliminary Key Plan
 - Dwg. No. 0189-01-02 Stormwater Management Plan
 - Dwg. No. 0189-01-03 Servicing Plan
 - Dwg. NO. 0189-01-04 Grading Plan
 - Servicing Report



Project Description

The project site is approximately 600m² in size and is located on Weld Street near it's intersection with Jensen Avenue. The site is currently vacant and slopes gently from the southwest to northeast corner. This application is to construct a 3 story mixed use building with a commercial/retail unit and enclosed secure parking for residential units on the ground floor. The second floor is professional office space and the third floor contains 2 residential units.

The property is currently zoned as C3 Downtown Core and the property is designated as Downtown Core on the OCP Future Land Use Map (Schedule B-1)

The property is within Development Permit Area No. 1 – Downtown Core, which is for Revitalization / Form and Character. The objective for this development permit area is to revitalize the core area by enhancing the form and character of the area through the promotion of architectural particulars and landscaping. The Downtown Master Plan and Development Guidelines designate this area as District II – Urban Residential with Streetscape F.

The proposed building is set back from the street and provides a continuous facade along Weld Street with all parking accessed from the rear laneway as recommended. The building will be constructed using ICF (insulated concrete form) technology for all exterior walls and floor separations and the colours selected reflect the natural earthy tones and rock ledgestone features along the front. A variety of textures (siding, rock and shingles) are utilized to accentuate the architectural features. A pitched roof is utilized as recommended in the Design guidelines.

Closing

We trust that you will find the enclosed application in order and would be please to meet with you at your convenience to discuss any questions, which may arise from your review.

Yours truly,
Timberlake-Jones Engineering

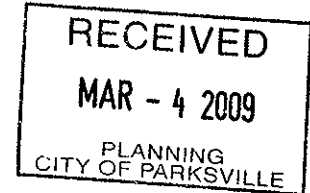


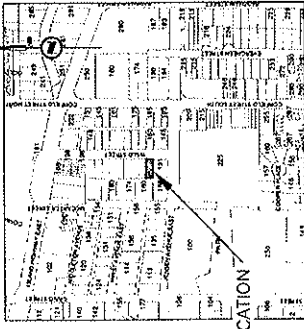
Michelle T. Jones, P.Eng.

S:\MS Office\0189 - Weld St Bld\0189-DP Applicaiton.mar3.09.doc

Enclosures

cc: 449631 BC Ltd., Attn: J. Hirsch
Juris Voldemars Bergins Architect

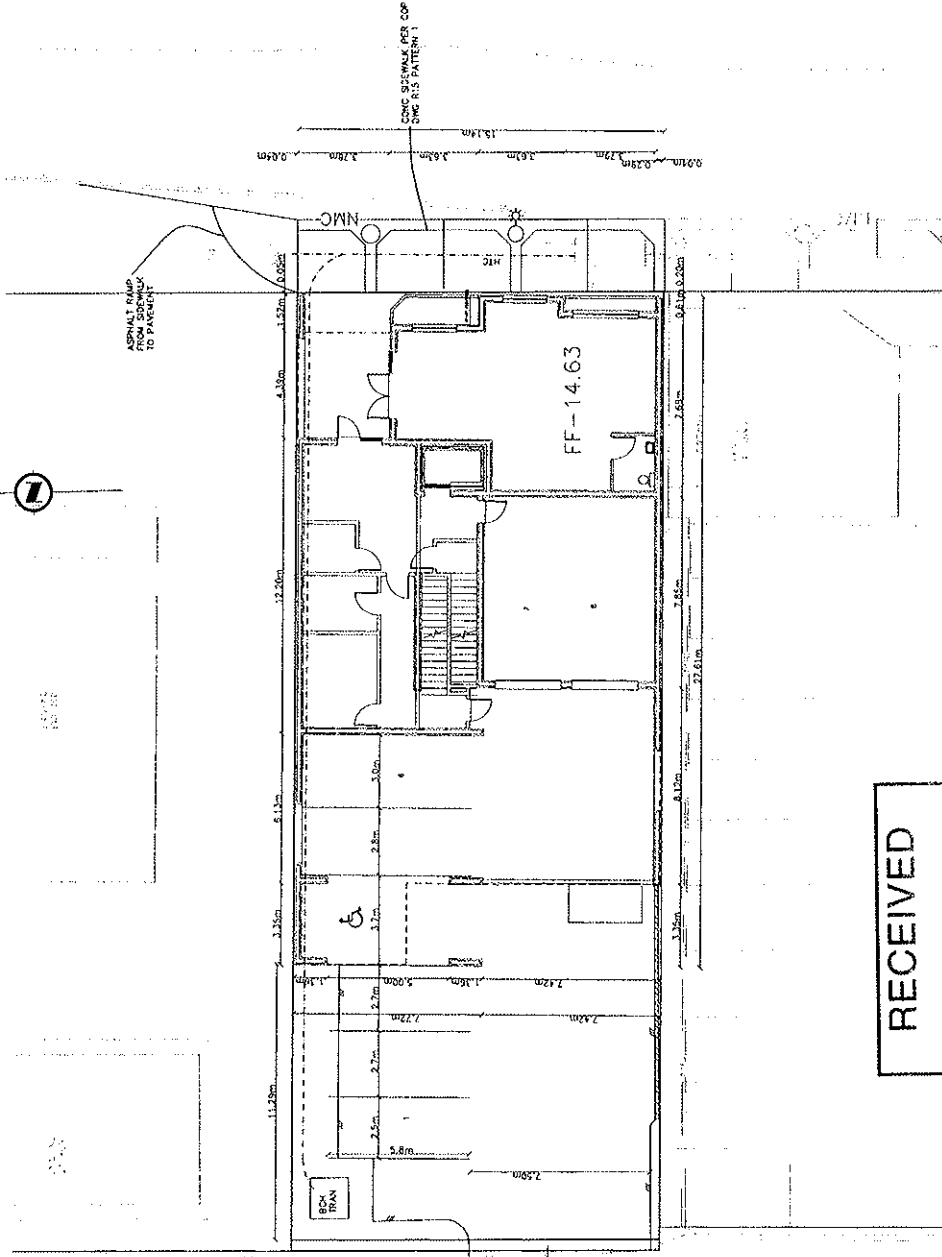




SITE LOCATION

LOCATION PLAN
SCALE 1:5000

Site Information	
Registered Owner	449631 BC LTD
Mailing Address	PO Box 534 Preston BC V0L 1V0
Site Address	173 Weld Street
Legal Description	LOT 33, D.I.S. Weld Street, Dist. 1462
Development Permit No.	1 - Development
Zoning	C1 Downtown Core
Lot Size	420m ² 134' x 312'
Site Coverage	63% maximum 42.2%
Gross Floor Area	504-2 363m ²
Floor Area Ratio	1.2 maximum 1.16
Building Height	11.6 m maximum 10.75 m
Setbacks	Front 0.0 m Rear 4.0 m Side 0.0 m
Building Requirements	Proposed Building 0.05 m 1.1.25 m 0.04 m
1 st Floor Commercial	per 33 m ²
2 nd Floor Office	3 spaces 331 m ²
3 rd Floor Residential	2 units
Soil Use	13.3 meters
Soil Reduction allowed by Amendment 2000 26	2000 26
Development Fee	0
TOTAL	7.15 m ² 8.15 m ² REQUIRE: 1.15 m ² 1.15 m ²



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SCALE 1:100

PROJECT: DEVELOPMENT PERMIT APPLICATION - 173 WELD STREET

CLIENT: 449631 BC LTD.

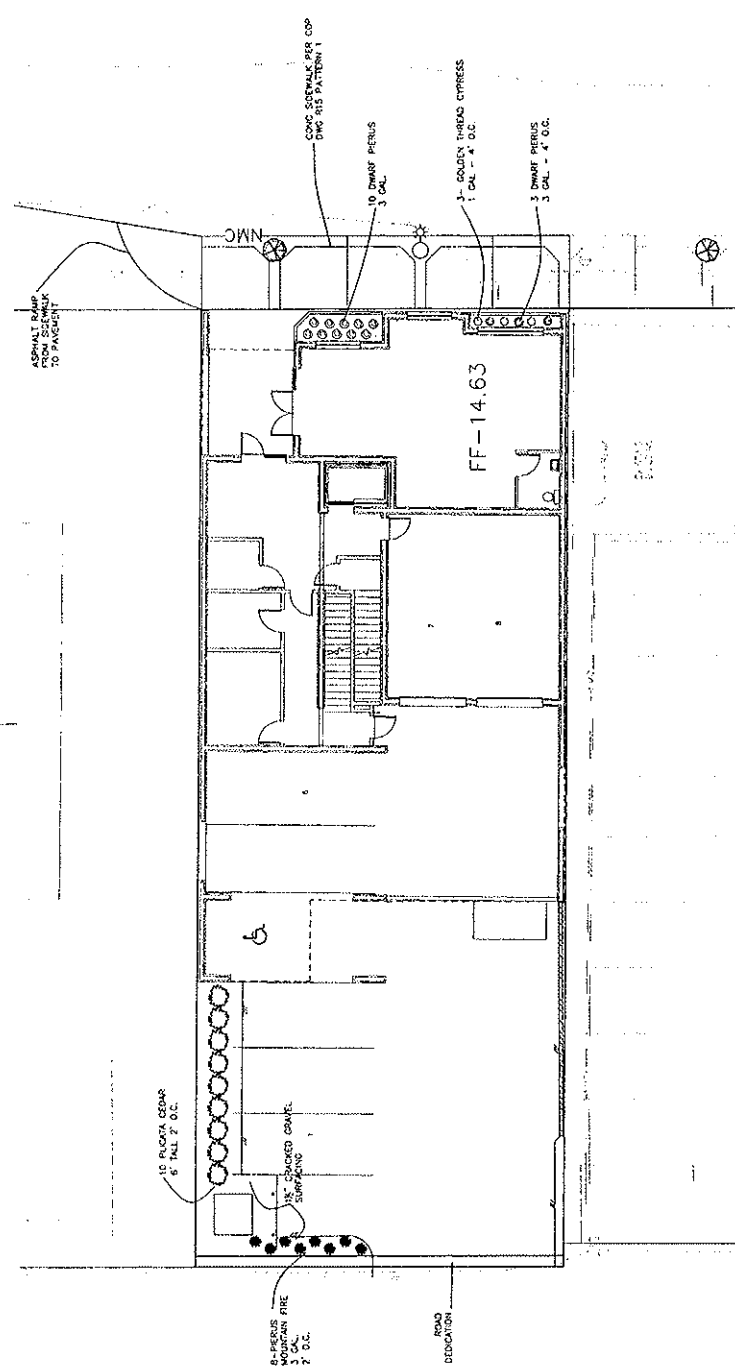
Drawn by: MTU Date: APR 2009 Drawing No.: 0189-S

Rev.No.: B

Site: 326 - 199 E. 140th Highway
Surrey Centre
PO Box 89
Preston, BC V0P 2G3
Phone: 250-546-5907
Fax: 250-546-5933
email: me@mjca.com

Timberlake-Jones
ENGINEERING

LANDSCAPE PLAN



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SCALE 1:100

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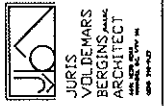
PROJECT: DEVELOPMENT PERMIT APPLICATION - 173 WELD STREET

CLIENT: 449631 BC LTD.

Drawn by: MTJ Date: APR 2009 Drawing No.: 0189-L Rev.No.: B

Timberlake-Jones
ENGINEERING

Suite 320 - 139 E. 10th Highway
Sawyer Centre
PO Box 89
Parkville, MO 64151
Phone: 816.248.0291
Fax: 816.248.1553
email: mtj@tjeng.ca

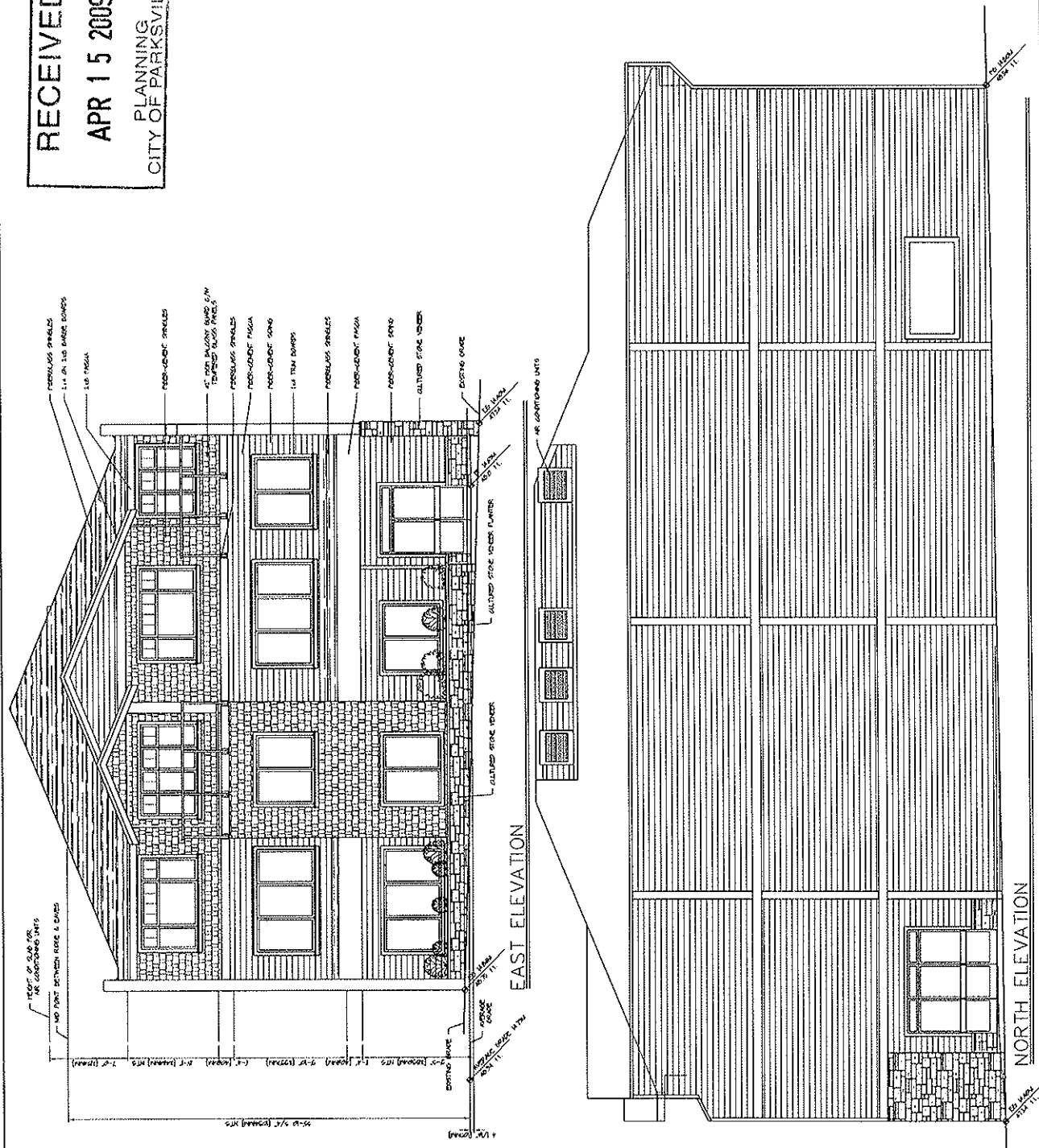



Engineering Services
 2115 PARKWAY DRIVE, SUITE 100, WESTPORT, MA 01891
 TEL: 978-271-1111
 FAX: 978-271-1112

G.T. BURDGE DESIGN & ARCHITECTURE
 173 WELD STREET, PARKSVILLE, B.C.
 HIRSCH DEVELOPMENTS

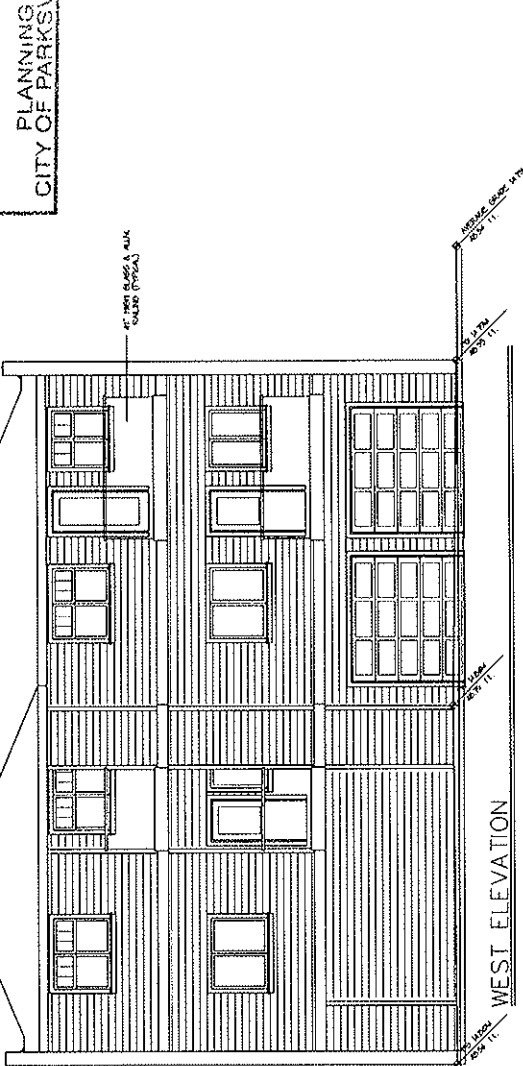
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 SHEET NO: 1 OF 5
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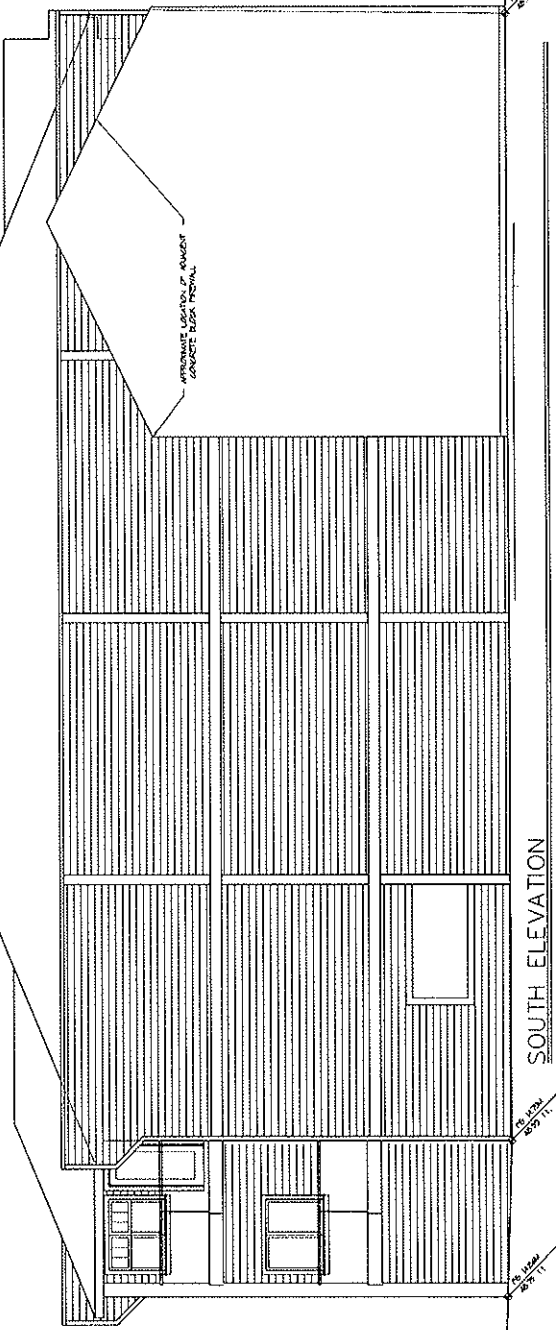


COMMERCIAL/RESIDENTIAL BUILDING 173 WELD STREET, PARKSVILLE, B.C. HIRSOH DEVELOPMENTS		G. T. BURDGE DESIGNS ARCHITECTS 173 WELD STREET, PARKSVILLE, B.C.		Oculum Engineering Services 2011 PARKS ROAD, SUITE 100, PARKSVILLE, B.C.		 JURIS VDL DEMARS BERGINS ARCHITECTS	
DATE: APRIL 2009	PLAN NO: B4002	SCALE: 1/4" = 1'-0"	BY: G.T. BURDGE ARCHITECT	DATE: APRIL 2009	PLAN NO: B4002	SCALE: 1/4" = 1'-0"	BY: G.T. BURDGE ARCHITECT
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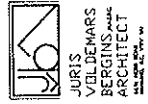
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WEST ELEVATION



SOUTH ELEVATION

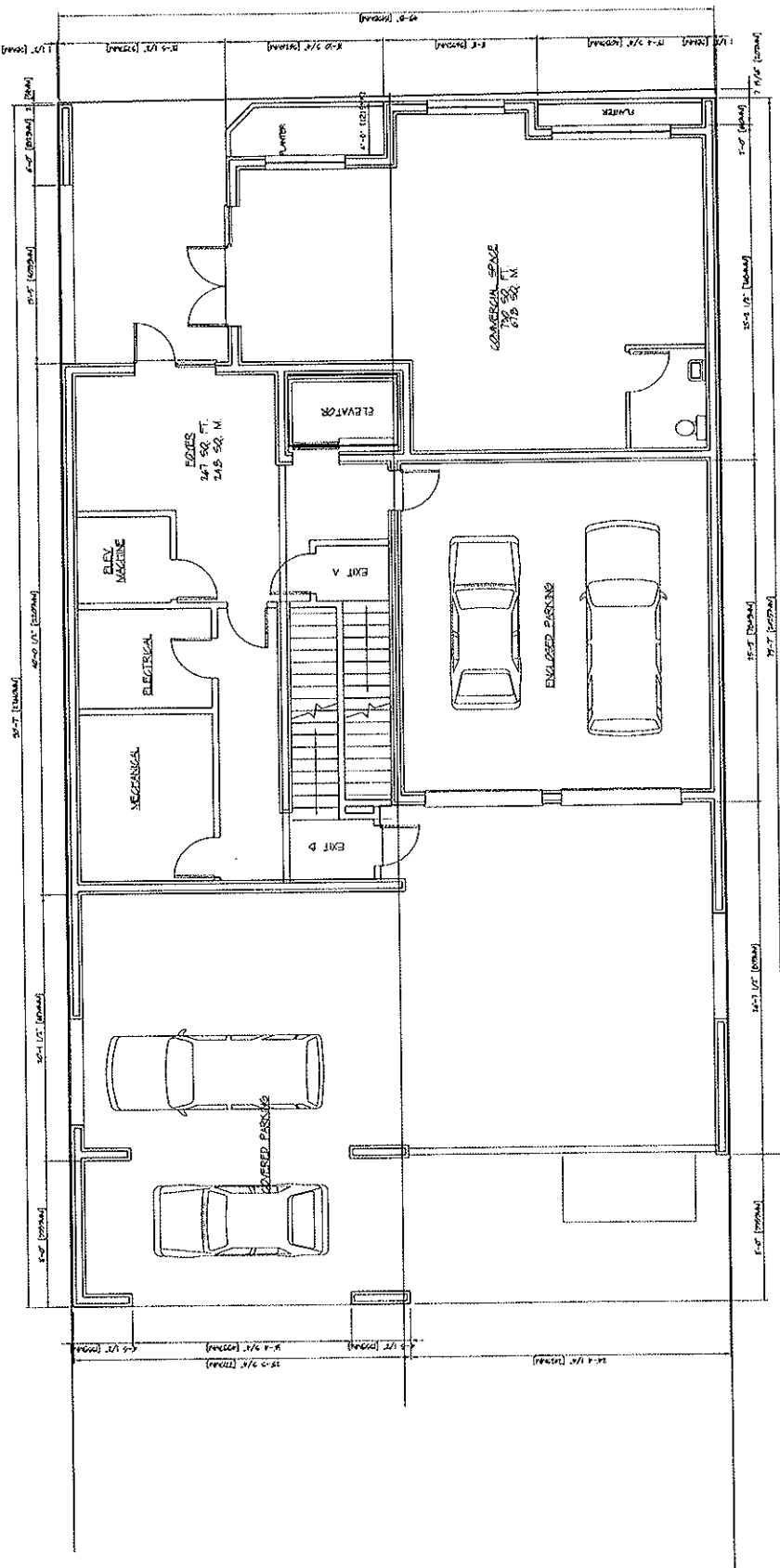


JURIS
VULDENARS
BERGINS
ARCHITECT
1415 WEST 10TH
SOUTH
DENVER, CO 80202
303.733.1111

Qualicum
Engineering Services
2514 PARKER ROAD, DAVENPORT, NC 27834
919.286.2110
919.286.2111

G.T. BURDGE DESIGNS
173 WELD STREET, PARKSVILLE, B.C.
HIRSCH DEVELOPMENTS

DATE: APRIL 2009
SCALE: 1/8" = 1'-0"
PLAN NO. B4002
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BY: G.T. BURDGE, P.A.S.C.
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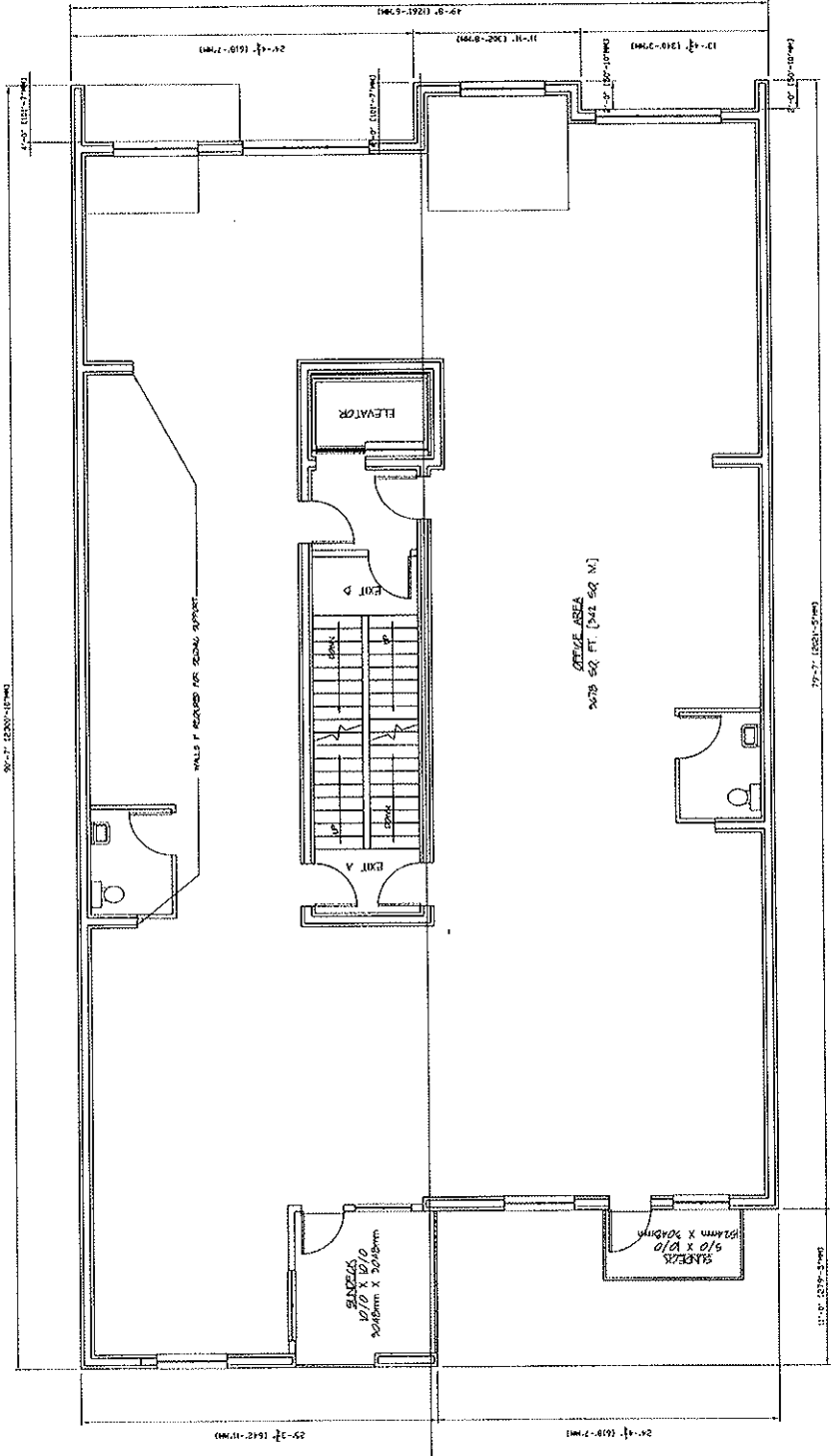
MAIN FLOOR PLAN 4083 sq.ft. (379 M.sq.) BUILDING FOOTPRINT

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 SHEET NO. 4 OF 5

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 Engineering Services
 173 WELD STREET PARKSVILLE, B.C. V3K 1V4

JURIS
 VULNERA
 BERGINS
 ARCHITECT
 173 WELD STREET PARKSVILLE, B.C. V3K 1V4



SECOND FLOOR PLAN 3610 sq.ft. (335 M.sq.)

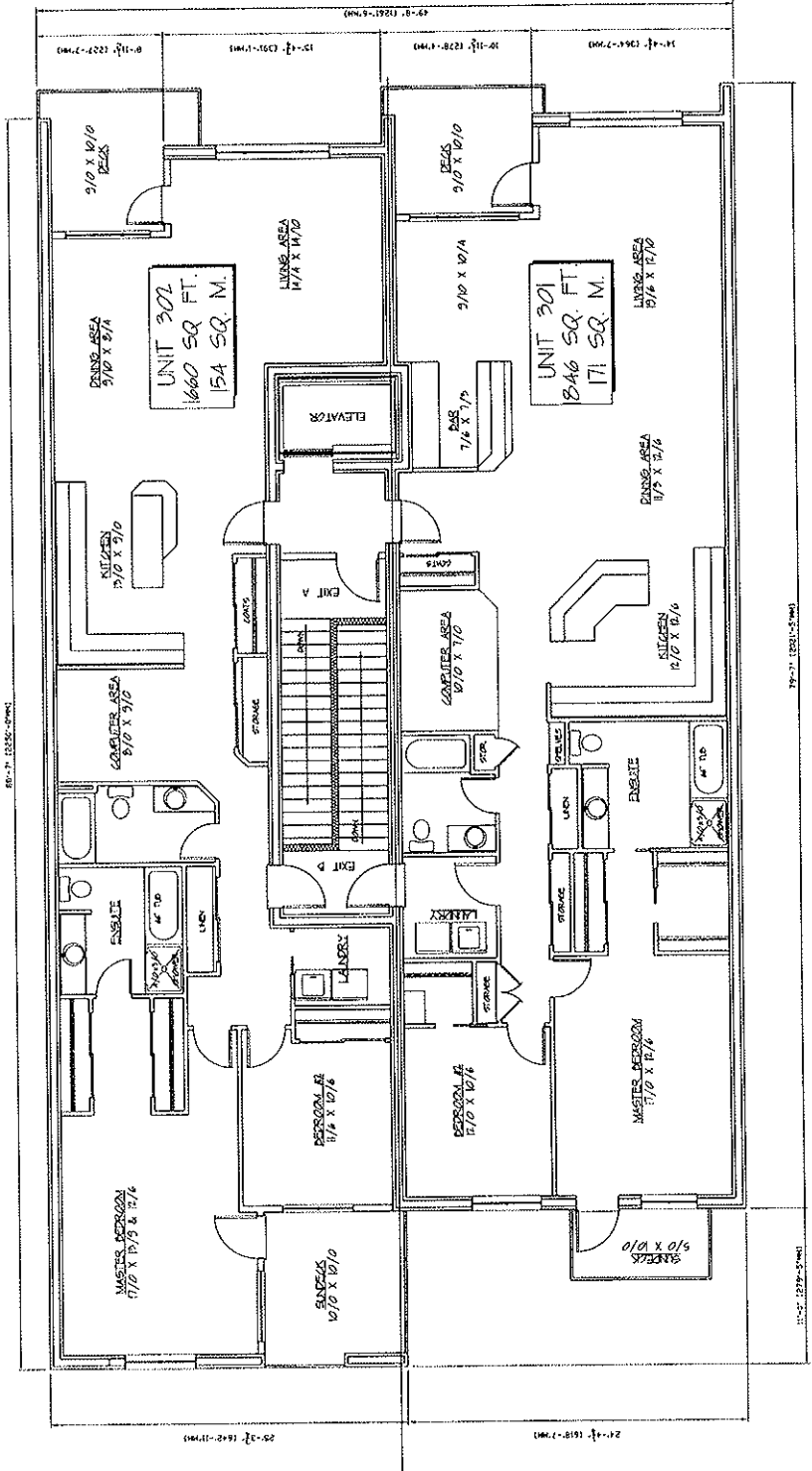
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DRAWING NO. B4002-04
 SHEET NO. 4 OF 5

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 BY: G.T. BURRUBO, ARCHT.
 PLAN NO: B4002
 SHEET NO: 5 OF 5

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 G.T. BURRUBO DESIGNS
 ENGINEERING SERVICES

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 ARCHITECT
 1000 12TH ST. SW
 SEASIDE, OR 97138
 503-325-1111



THIRD FLOOR PLAN

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