



City of PARKSVILLE

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www.parksville.ca

COMMITTEE OF THE WHOLE AGENDA

MONDAY, JULY 28, 2008 – 6:00 P.M.

1. ADOPTION OF MINUTES

- a) of the July 14, 2008 minutes of the Committee of the Whole meeting – Pages 1 to 4

2. PUBLIC PRESENTATIONS

3. CORRESPONDENCE

4. DISCUSSION RELATED TO DELEGATIONS OR CORRESPONDENCE

5. STAFF PRESENTATIONS

- a) Director of Finance – 2008 Quarterly Budget Update (verbal)
For April, May & June 2008
- b) Director of Administrative Services – Quarterly Report (verbal)
For July, August and September 2008
- c) Planner – Recommendation to Rescind the Current Advisory Design Panel Bylaw to be Replaced with an Updated Terms of Reference – Pages 5 to 9
The current Advisory Design Panel Bylaw No. 1419 should be rescinded in favour of a formalized Terms of Reference document to facilitate recent changes to the Panel composition.

***Recommendation: THAT the report from the Planner dated July 8, 2008 for Council's consideration of a recommendation to rescind the current Advisory Design Panel Bylaw to be replaced with an updated Terms of Reference;
AND THAT Council adopt a formal Terms of Reference for the Advisory Design Panel.***

d) Planner – Application for a Development Permit [500 Corfield Street] – Pages 10 to 36

The City has received a development permit application from Corfield Glade Developments Ltd. for the above noted property to allow the construction of 58 townhouse units, 2 indoor recreation units and overall site improvements. The subject property is located within Development Permit Area No. 17 – Comprehensive Development – Corfield Glades. The development permit designation is under the Form and Character, Protection of the Natural Environment, Protection of Development from Hazardous Conditions categories.

Recommendation: THAT the report from the Planner dated July 16, 2008 for the issuance of a Development Permit at 500 Corfield Street be received;

AND THAT a development permit be issued to Corfield Glades Development Limited, Inc. No. BC0817974 to permit 58 townhouse units, 2 indoor recreation units and overall site improvements on Lot 30, Block 1438, Nanoose District, Plan VIP66125 and Lot 31, Block 1438, Nanoose District, Plan VIP66125 (500 Corfield Street);

AND THAT where the Qualified Environmental Professional's (QEP) report dated April 10, 2008, as prepared by Toth and Associates, describes an area designated as Streamside Protection and Enhancement Area (SPEA), that development activities within the SPEA shall be conducted in accordance with the QEP's assessment report;

AND THAT a landscaping bond in the amount of \$264,212.50 be received prior to the issuance of the permit;

AND FURTHER THAT proof of lot consolidation be received prior to the issuance of the permit.

e) Manager of Current Planning – Application for a Development Permit [352 Hirst Avenue] – Pages 37 to 63

The City has received a development permit application from Joel McDaniel of Carel Properties Ltd. for the above noted property to facilitate the construction of a 3 storey, 18-unit residential apartment building and associated landscaping. The property is located within Development Permit Area No. 4 – Multiple Family Area – Central, as designated within the Official Community Plan (OCP). The development permit designation is under the Form and Character category.

Recommendation: THAT the report from the Manager of Current Planning dated July 17, 2008 for the issuance of a Development Permit at 352 Hirst Avenue be received;

AND THAT a development permit be issued to Carel Properties Ltd., Inc. No. 0752485 to facilitate the overall site plan and construction of a 3 storey, 18 unit apartment building on Lot 5, District Lot 14, Nanoose District, Plan 5797 (352 Hirst Avenue) with the following variances:

- **Relaxation of the required number of off-street parking stalls from 1.5 stalls per dwelling unit (27 stalls) to 1 stall per dwelling unit (18 stalls);**
- **Relaxation of the front yard setback from 6.0 metres to 4.0 metres; and,**
- **Relaxation of the outdoor recreation space requirement from 396 m² to 214 m².**

AND THAT an amendment to Development Permit No. 07-07 be issued to Carel Properties Ltd., Inc. No. 0752485 to facilitate the inclusion of

**additional landscape screening on Lot B, District Lot 14, Nanoose District, Plan 5797 (344 Hirst Avenue);
AND FURTHER THAT a landscaping bond in the amount of \$46,770.49 be received prior to the issuance of the permit.**

- f) Manager of Current Planning – Zoning Bylaw Text Amendment to Permit Miniature Golf Course Use in the Resort Area Tourist Accommodation RA-2A Zone – Pages 64 to 75

A review of the Resort Area Tourist Accommodation RA-2A zone has revealed that current wording does not permit miniature golf course use, a use that was intended to be included within the zoning designation.

Recommendation: THAT the report from the Manager of Current Planning dated July 17, 2008, entitled "Zoning Bylaw Text Amendment to Permit Miniature Golf Course Use in the Resort Area Tourist Accommodation RA-2A Zone" be received;

AND THAT a zoning text amendment bylaw be drafted that adds miniature golf course as a permitted use to the Resort Area Tourist Accommodation RA-2A zone and that the bylaw be advanced for reading consideration.

- g) Director of Community Planning – Information Regarding Zoning Amendment Bylaw for Carriage Houses – Pages 76 to 83

Staff has responded to Council's resolution to prepare a zoning amendment to accommodate carriage houses. This report provides information regarding the assumptions that were made to draft the Bylaw.

Recommendation: THAT the report from the Director of Community Planning dated July 8, 2008 pertaining to information regarding a zoning amendment bylaw for carriage houses be received;

AND THAT the "Zoning and Development Amendment Bylaw, 2008, No. 2000.69" be advanced for reading consideration.

- h) Director of Community Planning – Consideration of How to Amend All Existing Multiple Family Zoning Categories to Include a Requirement for Affordable Housing in all Future Developments – Pages 84 to 87

Council has requested that Staff identify a method of ensuring that there is affordable housing included in all multiple family developments and in situations where the multiple family zoning is already in place. The legislative mechanism to do this is through the bonus provision set out in Section 904 of the Local Government Act. Right now the City does have bonus provisions in its multiple family zones, but this is not often taken advantage of by developers. To make this effective it is necessary to adjust the base density provisions and to add a bonus provision to other zones which permit multiple family as well.

Recommendation: THAT the report of the Director of Community Planning dated July 15, 2008 for consideration of how to amend all existing multiple family zoning categories to include a requirement for affordable housing in all future developments be received;

AND THAT Staff be directed to amend the RS-2 and RS-3 zones to reduce the permitted density as expressed as maximum floor area ratio by 50%.

i) Director of Administrative Services - Co-Ed Ortho Softball Beer Garden Event Application – Pages 88 to 96

Under the provisions of the City's Special Events Policy organizations proposing to hold an event on municipal property, streets or parks are required to apply for a special events permit. All events covered in the policy must be approved by Council and event organizers must fulfill the requirements outlined in the policy.

Recommendation: THAT the Co-Ed Ortho Softball League be permitted to conduct a beer garden on August 30, 31 and September 1, 2008, between the hours of noon and 6:00 p.m. in the Community Park Lacrosse Box as outlined on the map attached to the report from the Director of Administrative Services dated July 18, 2008 entitled "Co-Ed Ortho Softball Beer Garden Event Application";

AND THAT the approval be granted on condition that the organizers ensure that any temporary food concessions associated with the event are in compliance with Community Park Food Concessions Policy No. 3.18;

AND FURTHER THAT the approval be granted on condition that the organizers adhere to the signed Terms and Conditions form dated July 9, 2008 attached to the report from the Director of Administrative Services dated July 18, 2008 entitled "Co-Ed Ortho Softball Beer Garden Event Application".

j) Director of Administrative Services - Parksville & District 25th Annual SOS Bikers Toy Run – Pages 97 to 105

Under the provisions of the City's Special Events Policy organizations proposing to hold an event on municipal property, streets or parks are required to apply for a special events permit. All events covered in the policy must be approved by Council and event organizers must fulfill the requirements outlined in the policy.

Recommendation: THAT the SOS be permitted to hold the Parksville & District 25th Annual SOS Bikers Toy Run Event on Sunday, September 21, 2008 between the hours of 9:00 a.m. and 3:00 p.m., utilizing the picnic shelter, parking areas of the Community Park as indicated on the map attached to Park Use Application Form (1) with the motorcycles following a designated route through City streets as indicated on the map attached to Event Application Form (1B) which are attached to the report from the Director of Administrative Services dated July 18, 2008 entitled "Parksville & District 25th Annual SOS Bikers Toy Run";

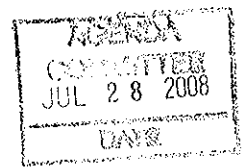
AND THAT the approval be granted on condition that the organizers adhere to the signed Terms and Conditions form dated July 14, 2008 attached to the report from the Director of Administrative Services dated July 18, 2008 entitled "Parksville & District 25th Annual SOS Bikers Toy Run".

6. NEW BUSINESS

7. ADJOURNMENT

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TO BE ADOPTED



CITY OF PARKSVILLE

July 14, 2008

Minutes of the Committee of the Whole meeting held in the Civic and Technology Centre, 100 E. Jensen Avenue, Parksville, BC, on Monday, July 14, 2008 at 6:00 p.m.

PRESENT: Her Worship Mayor S. R. Herle

Councillors: C. R. Burger
M. Lefebvre
T. C. Patterson
S. E. Powell
C. Robinson

Staff: F. Manson, Chief Administrative Officer
L. Taylor, Director of Administrative Services
G. Jackson, Director of Community Planning
B. Russell, Manager of Current Planning
M. Squire, Manager of Engineering
P. Lovegrove, Manager of Budgets and Special Projects
N. Gray, Planner

1. MINUTES

Patterson - Burger

THAT the minutes of the Committee of the Whole meeting held June 23, 2008 be adopted.

CARRIED.

Powell - Burger

THAT the minutes of the Special Committee of the Whole meeting held July 7, 2008 be adopted.

CARRIED.

2. PUBLIC PRESENTATIONS – Nil

3. CORRESPONDENCE – Nil

4. DISCUSSION RELATED TO DELEGATIONS OR CORRESPONDENCE – Nil

5. STAFF PRESENTATIONS

Mayor Herle noted that all recommendations adopted by the Committee at this meeting will be forwarded to Council for consideration at their July 21, 2008 meeting.

RECOMMENDATIONS:

a) **Planner – Bench Placement in the Downtown Core**

PowerPoint presentation of the placement of the benches in the downtown core.

b) **Manager of Current Planning – Consideration of a Small-Lot Residential Zone**

Lefebvre - Patterson

THAT the report from the Manager of Current Planning dated July 3, 2008 entitled "Consideration of a Small-Lot Residential Zone", be received;

AND THAT the small lot residential zone template, attached as Schedule "A" to the report from the Manager of Current Planning dated July 3, 2008 entitled "Consideration of a Small-Lot Residential Zone", be accepted;

AND FURTHER THAT staff make the small lot residential zone template available to interested parties.

CARRIED.

c) **Director of Community Planning – Official Community Plan (OCP) Development Permit Guidelines**

Lefebvre - Burger

THAT consideration of the report from the Director of Community Planning dated June 19, 2008 for consideration of budget increase for the Official Community Plan Development Permit Guideline project be deferred until after the 2009 Provisional discussions.

CARRIED.

d) **Director of Community Planning – Consideration of Implementations of Mandatory Provision of Affordable Housing Units within all Future Multiple Family Developments**

Patterson - Robinson

THAT the report from the Director of Community Planning dated June 19, 2008 for consideration of implementation of mandatory provision of affordable housing units within all future multiple family developments be received;

AND THAT an Official Community Plan policy that makes mandatory affordable housing inclusion an evaluation consideration for future rezonings, be considered.

DEFEATED.

Burger - Patterson

THAT the report from the Director of Community Planning dated June 19, 2008 for consideration of implementation of mandatory provision of affordable housing units within all future multiple family developments be received;

AND THAT staff be directed to amend all existing multiple family zoning categories so as to include a mandatory requirement for affordable housing in all future multi-family developments.

CARRIED.

e) **Manager of Engineering – Highway 19A – Shelly Road to the Englishman River Bridge Pedestrian Facilities Upgrade**

Burger - Lefebvre

THAT the report from the Manager of Engineering dated July 8, 2008 entitled "Highway 19A – Shelly Road to the Englishman River Bridge Pedestrian Facilities Upgrade", be received;

AND THAT the tender for the "Highway 19A – Shelly Road to the Englishman River Bridge Pedestrian Facilities Upgrade", in the amount of \$490,449.83 (including GST), be awarded to Nash Excavating Ltd.

CARRIED.

f) **Director of Administrative Services – Consolidation Authorization Bylaw No. 1447**

Burger - Robinson

THAT the report from the Director of Administrative Services dated June 24, 2008 entitled "Consolidation Authorization Bylaw No. 1447" be received for information;

AND THAT the "Consolidation Authorization Bylaw, 2008, No. 1447" be advanced for reading consideration.

CARRIED.

Lefebvre - Burger

THAT the Committee of the Whole Meeting recess for 10 minutes at 6:52 p.m.

CARRIED.

The meeting reconvened at 7:02 p.m.

g) **2009 Provisional Budget – Comments & Questions from Council**

Burger - Powell

THAT 2009 Provisional Budget presented to Council at the Special Committee of the Whole meeting held July 7, 2008 showing a prior year surplus in 2009 of \$1,725,868 be approved with the following revisions:

1. Increase the tax rate from 3% to 5% in 2013;
2. Carry over \$50,000 allocated for the OCP DP Guidelines review from 2008 to 2009;
3. Allocate an additional \$150,000 (\$200,000 total) in 2009 for a full OCP review; and
4. Allocate \$5000 under Grants in Aid for the Brants Festival in 2009, 2010 and 2011;

AND THAT staff be instructed to initiate the public consultation process with respect to the 2009 Provisional Budget

CARRIED.

h) **Director of Community Planning – Official Community Plan (OCP) Development Permit Guidelines**

Burger - Robinson

THAT the report from the Director of Community Planning dated June 19, 2008 for consideration of budget increase for the Official Community Plan Development Permit Guideline project be received;

AND THAT a reallocation of funds in order to increase the OCP DP Guideline update project costs to \$80,000 not be approved.

CARRIED.

6. **NEW BUSINESS** - Nil

7. **ADJOURNMENT**

Robinson - Lefebvre

Rise and Report to Council at their July 21, 2008 meeting.

The meeting ended at 8:08 p.m.



Mayor

COMMITTEE OF THE WHOLE REPORT



July 8, 2008

REPORT TO: F. C. MANSON, C.G.A., CHIEF ADMINISTRATIVE OFFICER

FROM: N. GRAY, MBCSLA, PLANNER

SUBJECT: RECOMMENDATION TO RESCIND THE CURRENT ADVISORY DESIGN
PANEL BYLAW TO BE REPLACED WITH AN UPDATED TERMS OF
REFERENCE

Issue:

Recommendation to rescind the current Advisory Design Panel (ADP) Bylaw to be replaced with an updated Terms of Reference.

Executive Summary:

The current City of Parksville Bylaw No. 1419, a bylaw to establish an Advisory Design Panel, should be rescinded in favour of a formalized Terms of Reference document to facilitate recent changes to the Panel composition and to allow for a quorum without the presence of a Council Liaison.

Background:

The Advisory Design Panel has been operating without a quorum since the removal of a Council liaison member at the beginning of the 2008 calendar year. As a housekeeping item, the bylaw should be replaced with a Terms of Reference. The current City of Parksville Bylaw No. 1419, A Bylaw to Establish an Advisory Design Panel, describes a quorum as:

"A majority (3) of the Advisory Design Panel Members, including the non-voting Council member shall be deemed a quorum."

Options:

Council may:

1. Direct Staff to rescind the current City of Parksville Bylaw No. 1419, A Bylaw to Establish an Advisory Design Panel.
2. Adopt a Terms of Reference for the Advisory Design Panel.

Analysis:

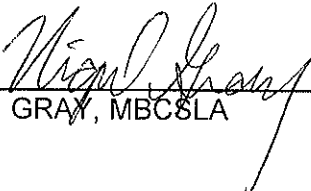
1. Rescinding City of Parksville Bylaw No. 1419, A Bylaw to Establish an Advisory Design Panel, would create a consistent approach to establishing committees of Council. The ADP is not a statutory committee like the Advisory Planning Committee or the Board of Variance so it should not be created by bylaw. As well, the committee appointments to an advisory committee should not exceed the term of Council.
2. Adopting a formal Terms of Reference document, will more adequately reflect the current panel configuration, allow greater flexibility for both panel members and Staff in scheduling meetings effectively, and permit a quorum without the attendance of a non-voting Council member. Please refer to the attached 'draft' Terms of Reference.

Financial Implications:

The Advisory Design Panel is an unpaid group of volunteers. There is Staff time associated with meetings, preparation, set up and maintenance. There is the cost of the advertisements should Council decide advertising is warranted.

Recommendation:

That the report from the Planner dated July 8, 2008 for Council's consideration of a recommendation to rescind the current Advisory Design Panel Bylaw to be replaced with an updated Terms of Reference, Council notification of the resignation of a Panel member and consideration of the appointment of a new Panel member be received;
And That Council adopt a formal Terms of Reference for the Advisory Design Panel.



N. GRAY, MBCSLA




G. JACKSON

NG/sh
Attachments

Planning/0540-20/ADVISORY DESIGN PANEL/2008/Agenda/Report-1-rev2.

DIRECTOR OF ADMINISTRATIVE SERVICES' COMMENTS:



L. TAYLOR

CHIEF ADMINISTRATIVE OFFICER'S COMMENTS:

A handwritten signature in black ink, appearing to read 'F. Manson', written over a horizontal line.

F. MANSON, C.G.A.

ADVISORY DESIGN PANEL TERMS OF REFERENCE

INTRODUCTION

Advisory committees are established to assist Council by providing for public input on municipal matters. These committees are advisory in nature and function within the parameters set out in their Terms of Reference. The public is welcome to observe the meetings of any advisory committee.

PURPOSE

The purpose of the Advisory Design Panel is to consider design matters and report its findings and opinions to Council. The Committee shall report its findings and opinions to Council in accordance with these Terms of Reference.

REFERRAL OF MATTERS AND REPORTING

The Advisory Design Panel will review all Development Permit applications and any other matters referred to it by Council.

Consideration of each matter assigned to the Panel by Council shall result in a formal motion in which a recommendation to Council is made. Council is in no way bound to the advice or recommendations of the Advisory Design Panel.

MEMBERSHIP

Composition

The Panel shall be appointed by Council. The Panel is comprised of a maximum of five (5) voting members as follows:

- o At least 50% of the voting members shall reside within the City of Parksville.
- o At least 50% of the voting members shall be architects [either formerly registered with AIBC or eligible for registration with AIBC], landscape architects [either formerly registered with the BCSLA or eligible for registration with the BCSLA], or persons holding a Master's level degree in a design related faculty.

Appointment and Term

- a) Members shall be appointed for a term specified at the time of appointment, but not to exceed the term of Council.
- b) Council may rescind an appointment at any time and members may resign at any time by providing written notice to the Committee Chair with copy to the City's Corporate Officer.
- c) Appointments to fill interim vacancies shall be for the remainder of the term only.
- d) Members may stand for re-appointment, but first consideration will be given to persons who have not already served.

REMUNERATION AND EXPENSES

Members of the Commission shall serve without remuneration.

PANEL RESPONSIBILITIES AND CONDUCT

Panel members have a responsibility to make recommendations based on the best interests of the community-at-large. In providing its opinion to Council, the Committee shall have due regard for applicable statutes, the bylaws and policies of the City, and their respective professional associations.

Members shall conduct themselves and declare any conflicts of interest in accordance with the Meeting Procedures Bylaw and the *Community Charter*. Members shall not speak on behalf of the Panel or represent themselves as having any authority beyond that delegated by Council.

Any member who fails to attend 3 consecutive meetings, except for reasons of illness, shall cease to be a member and the appointment shall be terminated.

MEETINGS AND PROCEDURES

A majority (3) of the Advisory Design Panel members shall be deemed to be a quorum.

Meetings will be set on a monthly basis, and may be increased as required.

Robert's Rules of Order shall govern the conduct of the meetings.

The Chair will be elected annually by the voting members of the Panel.

The Chair shall be a voting member of the Panel.

Minutes of all meetings shall be kept and made available to the public, in the Municipal office, during normal business hours.

Minutes shall be taken by City Staff.

The Panel shall conduct its meetings in accordance with the *Community Charter*, the *Council Procedure Bylaw* and the *City's Agenda Procedures Policy*. An orientation session respecting meeting procedures and rules will be provided by the Director of Community Planning and Building.

PUBLIC REPRESENTATION

Applicants of the files to be reviewed by the Panel will be required to make a presentation to the Panel ahead of the Panel's deliberation.

STAFF SUPPORT AND OTHER RESOURCES

- a) Secretarial support will be provided by the Planning Department on an on-going basis.
- b) Professional and technical advice may be provided by the Planning Department Liaison, or their designate.

July 8, 2008

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COMMITTEE OF THE WHOLE REPORT



July 16, 2008

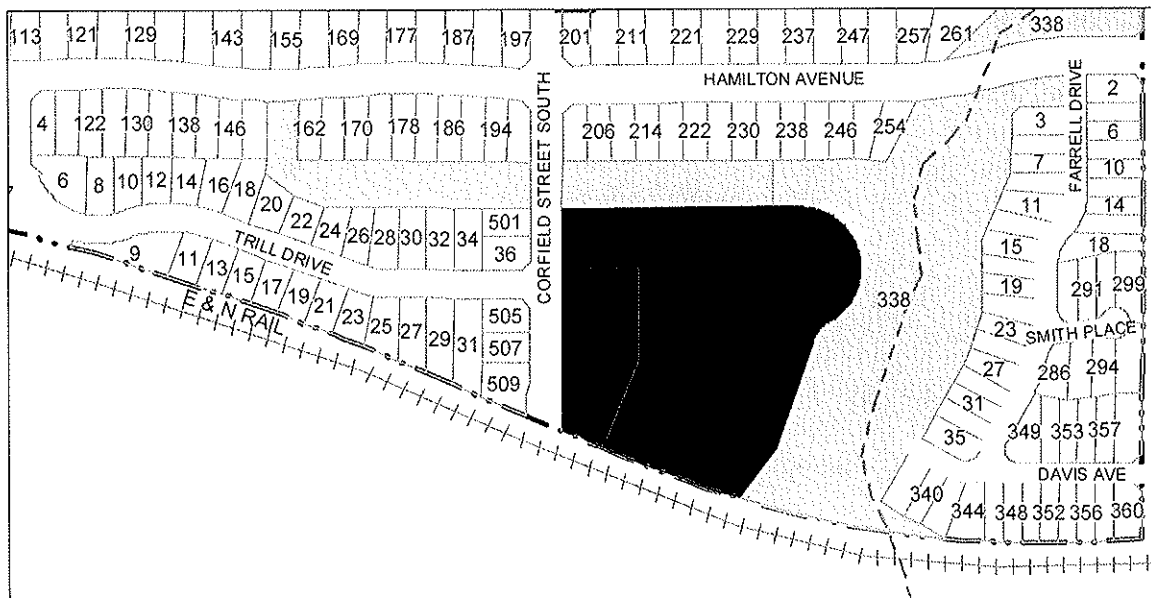
MEMO TO: F. C. MANSON, C.G.A., CHIEF ADMINISTRATIVE OFFICER

FROM: N. GRAY, MBCSLA, PLANNER

SUBJECT: APPLICATION FOR A DEVELOPMENT PERMIT TO PERMIT 60 DUPLEX TOWNHOUSE UNITS ON LOTS 30 AND 31, BLOCK 1438, NANOOSE DISTRICT, PLAN VIPVIP66125 [500 CORFIELD STREET, PARKSVILLE]
 REGISTERED OWNERS: CORFIELD GLADES DEVELOPMENT LIMITED, INC. NO. BC0817974
 APPLICANT: CORFIELD GLADES DEVELOPMENTS LTD.
 OUR FILE NO: 3060-30-08-06

Issue:

Consideration of a development permit to permit 60 duplex townhouse units.



Executive Summary:

The subject property is within Development Permit Area No. 17 – Comprehensive Development – Corfield Glades. The development permit designation is under the Form and Character, Protection of the Natural Environment, Protection of Development from Hazardous Conditions categories. The site is located at the South end of Corfield Street South. The attached Schedule "A" provides a brief point form summary of the guideline evaluation for the proposed development.

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References:

Official Community Plan Bylaw 2002, No. 1370 excerpt – 5.2.17. Development Permit Area No. 17 - COMPREHENSIVE DEVELOPMENT - CORFIELD GLADES;
Schedule 'A' – Development Permit Guideline Evaluation (attached);
Site Plan and Survey Drawing A1, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Arbour Unit Elevations A2.1, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Conifer Unit Elevations A3.1, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Evergreen Unit Elevations A4.1, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Evergreen Unit Buildings #26 & 28 Stepped Plan, Roof Plan & Elevations A4.3, date stamped received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Sylvan Unit Elevations A5.1, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Sylvan Unit Floor Plan & Roof Plan - Exterior Elevations – Building #21 A5.3, date stamp received May 28, 2008 as prepared by Chercover Massie & Associates Ltd.;
Russell Lighting, Outdoor Lighting Fixture Cut Sheet, date stamp received July 17, 2008;
Sustainable Community Builder Checklist, date stamp received May 28, 2008, as prepared by Corfield Glades Development Limited;
Landscape Plan L1, date stamp received July 17, 2008, as prepared by Ito & Associates Landscape Architects;
Sections L5, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Details L6, date stamp received July 17, 2008, as prepared by Ito & Associates Landscape Architects;
Detail L7, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Plant List L8, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Grade/layout Plan Phase 1&2 L9, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Grade/layout Plan Phase 3 L10, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Grade/layout Plan Phase 4 L11, date stamp received May 28, 2008, as prepared by Ito & Associates Landscape Architects;
Tree Buffer Exhibit, date stamp received July 10, 2008, as prepared by Corfield Glades Development Limited;
Qualified Environmental Professional's (QEP) report dated April 10, 2008, as prepared by Toth and Associates.

Background:

On May 28, 2008, the City received a development permit application from Corfield Glades Development Limited on behalf of the owners of the property. The applicant requested the issuance of a development permit to construct 58 townhouse units, 2 indoor recreation units and overall site improvements.

The planning technical review of the proposal is complete. The current proposal meets the requirements and guidelines of both the Zoning and Development Bylaw and Official Community Plan Bylaw. The proposal was reviewed by the Advisory Design Panel on June 12, 2008. The Advisory Design Panel recommendation to Council is as follows:

"That Council should accept the design proposal based on drawings and presentations provided at the Advisory Design Panel for Lots 30 and 31, Block 1438, Nanoose District, Plan VIP66125 (Farrell Drive). CARRIED."

Options:

Council may:

1. Authorize Staff to issue a development permit for the proposed development.
2. Deny the development permit application.

Analysis:

1. Implementation of this option will result in the completion of full build-out for the Corfield Glades development. The proposed development is of an appropriate scale of massing for this zone. The development is under the maximum density permitted.

The proposed form and character of the building and related site treatments have been endorsed by the Advisory Design Panel (ADP) fulfilling this goal. For these reasons, Staff believes it is appropriate to issue a development permit for the proposed project. For a detailed analysis of the development permit guidelines, please refer to Schedule "A" (attached).

2. Should a development permit be denied by Council, the decision must be based on the application not meeting the development permit guidelines or that insufficient information has been provided for Council to make an informed decision. Application deficiencies in meeting the guidelines would have to be clearly communicated to the applicant, so that they may be addressed and made satisfactory. The *Local Government Act* does not provide Council with the discretionary ability to ultimately deny permit issuance.

Sustainability/Environmental Analysis:

The Sustainable Community Builder Checklist (see attached) has been completed in detail. Stormwater detention ponds are proposed as a main feature of the development, designed to maintain offsite flows at a pre-development level.

Financial Implications:

There are no financial implications other than the cost of processing this permit.

Recommendation:

That the report from the Planner dated July 16, 2008 for the issuance of a Development Permit at 500 Corfield Street be received;

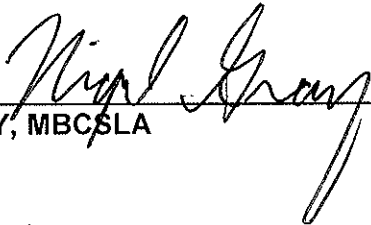
And That a development permit be issued to Corfield Glades Development Limited, Inc. No. BC0817974 to permit 58 townhouse units, 2 indoor recreation units and overall site improvements on Lot 30, Block 1438, Nanoose District, Plan VIP66125 and Lot 31, Block 1438, Nanoose District, Plan VIP66125 (500 Corfield Street);

And Further That where the Qualified Environmental Professional's (QEP) report dated April 10, 2008, as prepared by Toth and Associates, describes an area designated as Streamside

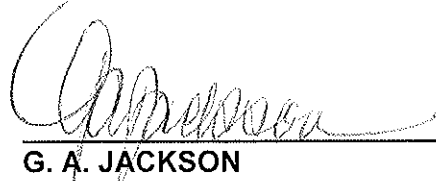
Protection and Enhancement Area (SPEA), that development activities within the SPEA shall be conducted in accordance with the QEP's assessment report;

And Further That a landscaping bond in the amount of \$264,212.50 be received prior to the issuance of the permit;

And Further That proof of lot consolidation be received prior to the issuance of the permit.



N. GRAY, MBCSLA



G. A. JACKSON

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Attachments

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DIRECTOR OF ENGINEERING'S COMMENTS:

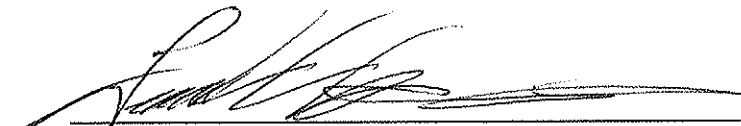
G. O'ROURKE, P. ENG

CORPORATE ADMINISTRATORS COMMENTS:



L. TAYLOR

CHIEF ADMINISTRATIVE OFFICER COMMENTS:



F. MANSON, C.G.A.

Schedule "A"

Development Permit Guideline Evaluation

Refer to 5.2.17. - Development Permit Area No. 17 – Comprehensive Development – Corfield Glades

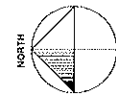
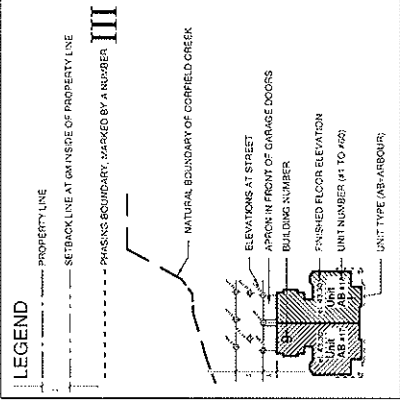
Guidelines have been satisfied by the following:

1. An environmental assessment has been provided and recommendations found therein have been incorporated into the development.
2. A stormwater detention wetland is indicated on the plans and has been supplemented with a professional engineer's letter.
3. Setbacks from Shelly Creek meet or exceed current Riparian Area Regulations.
4. A tree preservation plan has been submitted. There are few trees suitable for retention on the site. Any tree exceeding 15cm in diameter within the 6m setback (designated tree buffer) area along the railway corridor shall be retained.
5. Townhouse design objectives have been satisfied and vetted by the Advisory Design Panel.
6. All open areas not covered by buildings or pedestrian or vehicular access are to be landscaped.

I:/Users/Planning/Dpermit/2008/08-06/Agenda/Schedule A.

ONE (1) UNIT TO BE INDROP RECREATION UNIT

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PAGE 5

AS PART OF THIS DEVELOPMENT APPLICATION THE DEVELOPER IS INTENDING TO DO A PHASED DEVELOPMENT

NAME OF REGISTERED OWNER: Corfield Creek Development Ltd
ADDRESS OF SUBJECT PROPERTY: 560 Brook Creek Rd

UNIT TYPE	# OF UNITS	TOTAL GARAGE AREAS	FINISHED FLOOR ELEVATION
AB	24	4824	1150.04
AR	15	4538	1150.45
AB/AR	11	4539	1150.45
TOTALS	50	13899	1150.45

STAKEOUT

STAKE NO. 1001 TO 1050

STAKE COVERAGE 100% TO 100%

PLANNING DEPARTMENT

DATE: JAN 2008

SCALE: 1:500 METRIC

PROJECT NO.: 28607

SITE PLAN & SURVEY DRAWING

A1

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PLANNING
CITY OF PARKSVILLE

Charles O. Smythies & Associates
5 C Land Surveys & Planners
Nahama, B.C.
File: NS-1438-1007
Copies and original file
submitted with Plans

SC

EXTERIOR FINISH SCHEDULE

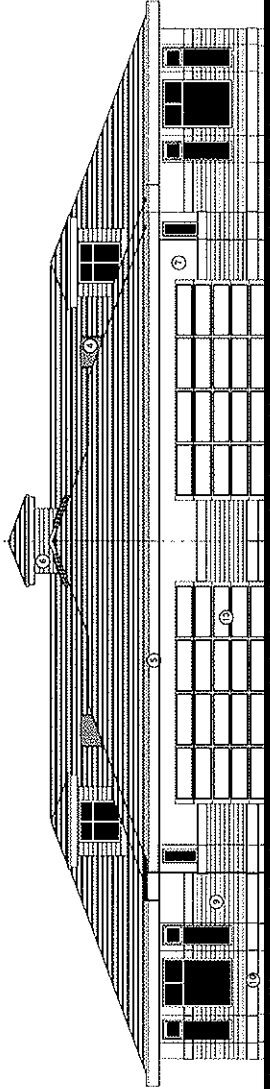
1. Roof: Benjamin Harrison High-Gloss Exterior Emulsion - one heavy ridge cap
2. Roof edge: 180gsm glass fibre fabric, Spun 5.0mm, 18" x 12" set against all roof eaves/bleeds & walls. Greenwater/air membrane
3. Allis steel frame under plasterwork: Ironex 100mm Benjamin Moore 115436, Dorratt Tan
4. Allis steel frame under plasterwork: Ironex 100mm Benjamin Moore 115436, Dorratt Tan
5. Roof finish: painted Benjamin Moore 115436, Corrugated Galvalume 1.2/75mm insulation
6. Siding: Hardie Board - "Spond" - 18mm (1" x 6")
7. Siding: Hardie Board - "Spond" - 18mm (1" x 6")
8. Gable end: Hardie Board - "Spond" - 18mm (1" x 6")
9. Wall: Benjamin Harrison Siding Benjamin Moore 115436, Dorratt Tan
10. Wood: Natural Hardie Board Benjamin Moore 115436, Dorratt Tan
11. Wood: Natural Hardie Board Benjamin Moore 115436, Dorratt Tan
12. Exterior partition door: Benjamin Harrison Benjamin Moore 115436, Dorratt Tan
13. Garage door: painted Benjamin Moore 115436, Corrugated Galvalume
14. Vinyl window and vinyl door: Ironex 100mm Benjamin Moore 115436, Dorratt Tan
15. Bit: Benjamin Harrison Vinyl Benjamin Moore 115436, Dorratt Tan
16. Bit: Benjamin Harrison Vinyl Benjamin Moore 115436, Dorratt Tan
17. Green Bark, 22mm x 125mm (8" x 4")

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2008-05-21 10:28:47 AM A1

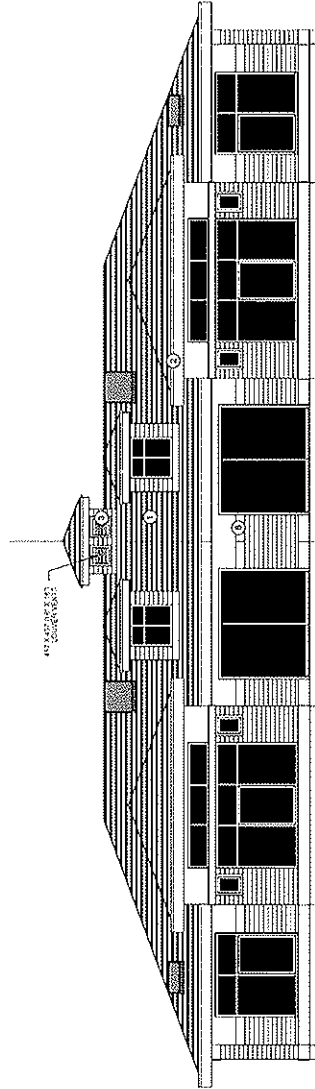
REVISED	DATE	BY	REASON

ISSUED	DATE	BY	REASON

PROJECT	DATE	BY	REASON

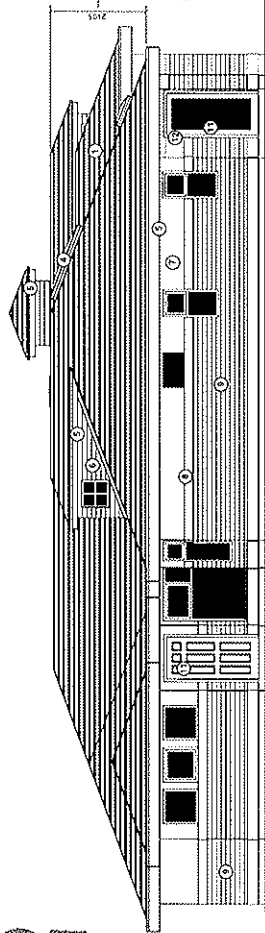


FRONT ELEVATION



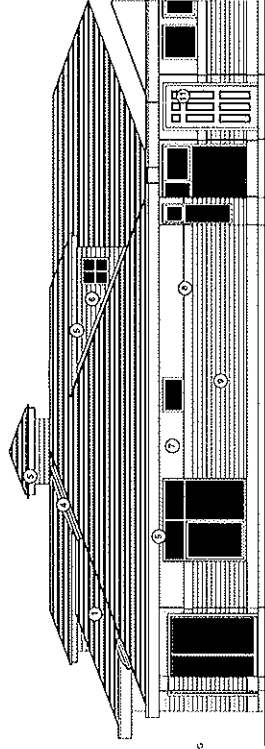
REAR ELEVATION

REAR ELEVATION-UNITS # 24 & 38



SIDE ELEVATION

SIDE ELEVATION-UNITS #24 & 38



PROJECT	DATE	BY	REASON

ARCHITECTURE
11
2008-05-21 10:28:47 AM A1

PROJECT
CORFIELD
CREEKSIDE
Residential Townhouse
Development

DRAWING TITLE
ARBOUR UNIT
ELEVATIONS

DRAWN RJC
DATE 1/21/2008
SCALE 1/8"
PROJECT NO. 280607
REV. A2.1

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REVISION	SUBJECT	DATE

NO.	REVISION	DATE
01	ISSUED FOR PERMITTING	MAY 15, 2008
02		
03		

CONSULTANT



ARCHITECTS AND ASSOCIATES LTD.
240-1100 PARKWAY 5
SHERBOURNE, ONTARIO N5A 2A5
Tel: 519-335-3333 Fax: 519-335-4444
www.architects.ca

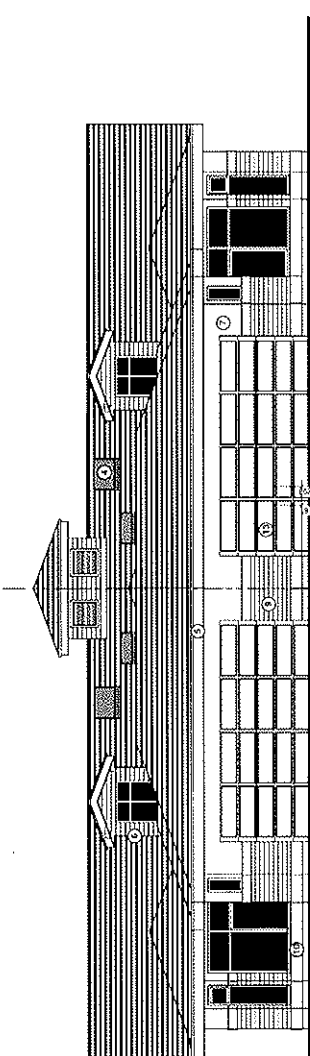
PROJECT
**CORFIELD
CREEKSIDE**
Residential Townhouse
Development

DRAWING TITLE
**CONFIRER UNIT
ELEVATIONS**

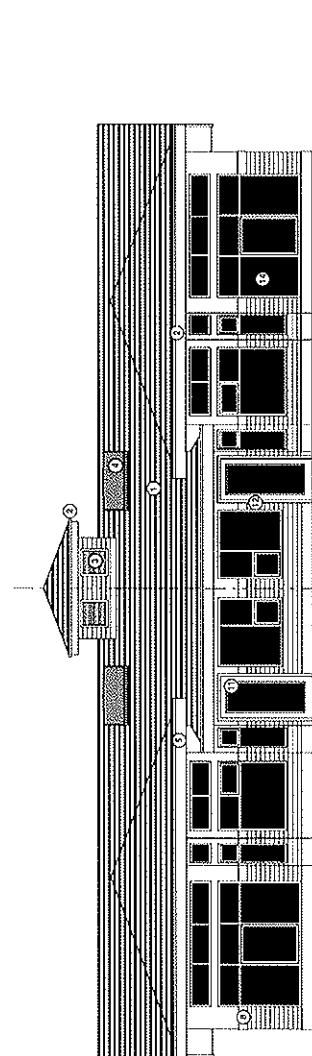
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DATE	MAY 2008
SCALE	1:50
PROJECT NO.	20007

EXTERIOR FINISH SCHEDULE

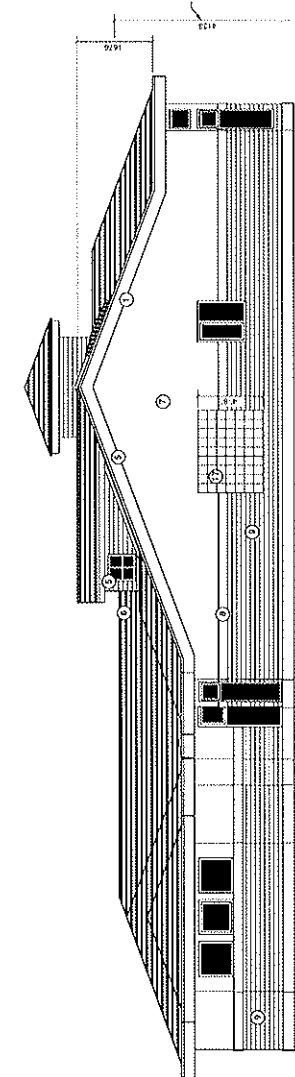
- 1. Roof Structure to be clad in Gypckr. 3/8" Gypsum Concrete over 2x8 joists. No heavy edge eap.
- 2. Roof edge to be finished with aluminum, 1 1/2" x 1/2" x 1/2" beads and 1 1/2" x 1/2" x 1/2" beads at roof overhangs.
- 3. All other exterior walls to be finished with 1 1/2" x 1/2" x 1/2" beads and 1 1/2" x 1/2" x 1/2" beads at roof overhangs.
- 4. All other exterior walls to be finished with 1 1/2" x 1/2" x 1/2" beads and 1 1/2" x 1/2" x 1/2" beads at roof overhangs.
- 5. Wood fascia to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) and 2500ms (127) horizontal.
- 6. Siding on roof overhangs and dormers to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 7. Upper ridge to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 8. Wood horizontal base to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 9. Lapped siding to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 10. Wood horizontal base to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 11. Exterior interior doors to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 12. Exterior interior door frames to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 13. Garage doors to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 14. Vinyl windows and siding to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 15. Finish to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 16. Siding to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.
- 17. Cement Block, 8" x 8" x 16" to be finished with Benjamin Moore 2152-20, Colorbond 2500ms (127) horizontal.



FRONT ELEVATION



REAR ELEVATION



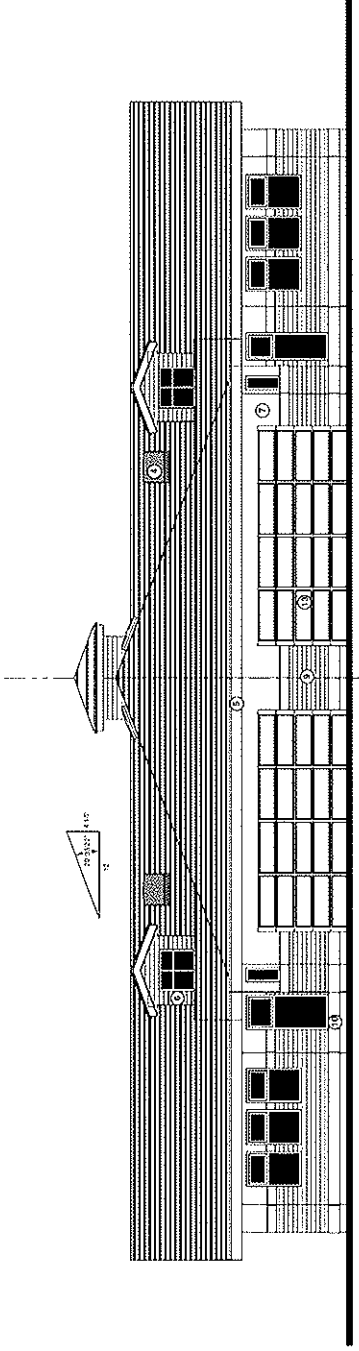
SIDE ELEVATION

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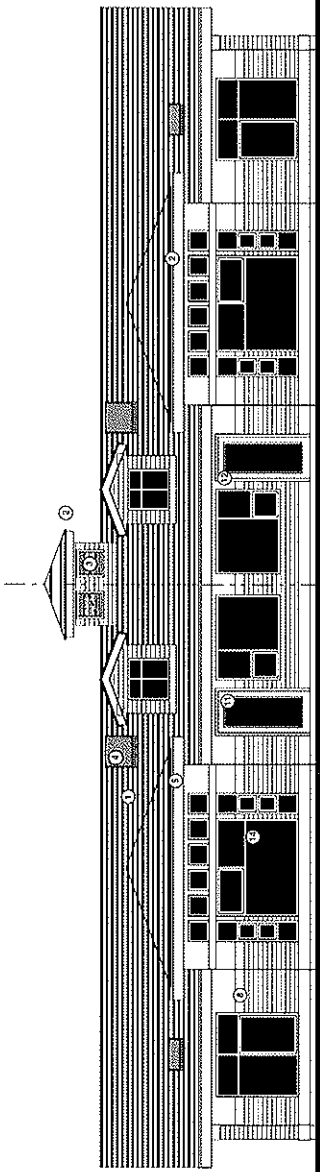
REVISED DRAWING	DATE

DATE	DATE
2008.05.27	2008.05.27
BY	BY

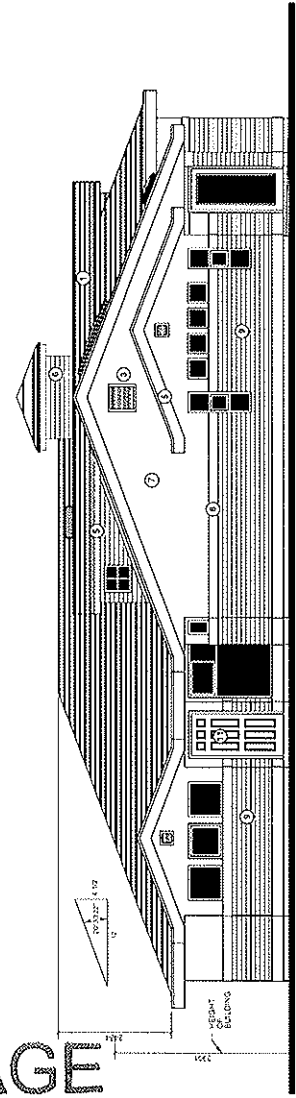
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FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

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- DETAILS FINISH SCHEDULE**
1. Roof edge flashing: Aluminum, 36mm (1 1/2") x 27mm (1") x 27mm (1") lap girth at roof eaves and corners.
 2. Roof edge flashing: Aluminum, 36mm (1 1/2") x 27mm (1") x 27mm (1") lap girth at roof eaves and corners.
 3. A/C unit: Ductwork: galvanized steel, 18mm (3/4") thick. Ductwork: 25mm (1") thick. Ductwork: 25mm (1") thick.
 4. A/C unit: Ductwork: galvanized steel, 18mm (3/4") thick. Ductwork: 25mm (1") thick. Ductwork: 25mm (1") thick.
 5. Wood: Hardwood: Douglas Fir, 25mm (1") thick. Hardwood: Douglas Fir, 25mm (1") thick. Hardwood: Douglas Fir, 25mm (1") thick.
 6. Siding: Hardwood: Douglas Fir, 25mm (1") thick. Siding: Hardwood: Douglas Fir, 25mm (1") thick. Siding: Hardwood: Douglas Fir, 25mm (1") thick.
 7. Upper half: Hardwood: Douglas Fir, 25mm (1") thick. Upper half: Hardwood: Douglas Fir, 25mm (1") thick. Upper half: Hardwood: Douglas Fir, 25mm (1") thick.
 8. Lower half: Hardwood: Douglas Fir, 25mm (1") thick. Lower half: Hardwood: Douglas Fir, 25mm (1") thick. Lower half: Hardwood: Douglas Fir, 25mm (1") thick.
 9. Upper half: Hardwood: Douglas Fir, 25mm (1") thick. Upper half: Hardwood: Douglas Fir, 25mm (1") thick. Upper half: Hardwood: Douglas Fir, 25mm (1") thick.
 10. Lower half: Hardwood: Douglas Fir, 25mm (1") thick. Lower half: Hardwood: Douglas Fir, 25mm (1") thick. Lower half: Hardwood: Douglas Fir, 25mm (1") thick.
 11. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick.
 12. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick.
 13. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick. Exterior: Hardwood: Douglas Fir, 25mm (1") thick.
 14. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick.
 15. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick.
 16. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick.
 17. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick. Interior: Hardwood: Douglas Fir, 25mm (1") thick.



PARKCOVER MASSIE & ASSOCIATES LTD.
 ARCHITECTS & ENGINEERS
 2008.05.27
 10000 100th Ave, Edmonton, AB T5A 0A7
 Tel: 780-443-1000 Fax: 780-443-1001

PROJECT
CORFIELD CREEKSIDE
 Residential Townhouse Development

DATE: 2008.05.27
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08002

DATE: 2008.05.27
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08002

DATE: 2008.05.27
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08002

DATE: 2008.05.27
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08002

DRAWING NUMBER	DATE

CHECKED BY	DATE
DESIGNER / PERMIT	DATE
BY	
DATE	

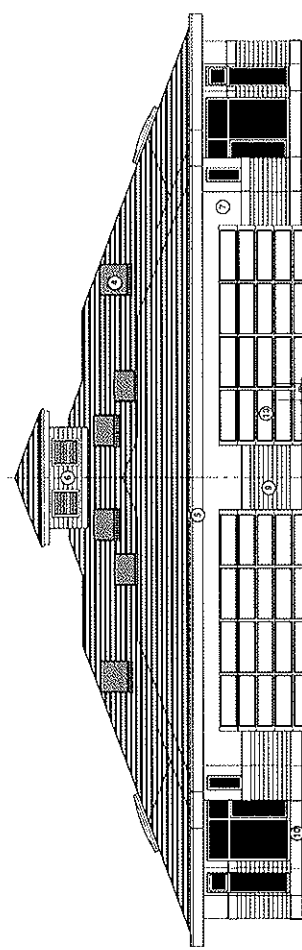
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PROJECT: CORFIELD CREEKSIDE Residential Townhouse Development	SUBJECT: SYLVAN UNIT ELEVATIONS
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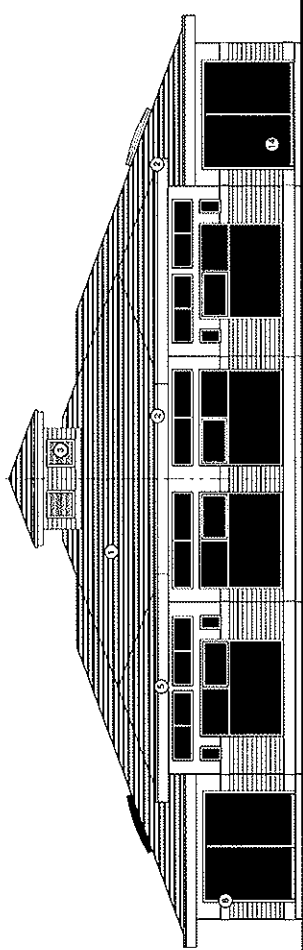
DATE: MAY 2008	SCALE: 1/8"	PROJECT NO. 2008P
SCALE: 1/8"		
SHEET NO. A5.1		

- EXTERIOR FINISH SCHEDULE**
- Road edge finish with concrete curb, 20" wide concrete curb, 20" high, with 2" slope to street.
 - Asphalt driveway with asphalt, 4" thick, 18" wide, 18" high, with 2" slope to street.
 - Asphalt sidewalk with asphalt, 4" thick, 18" wide, 18" high, with 2" slope to street.
 - Asphalt driveway with asphalt, 4" thick, 18" wide, 18" high, with 2" slope to street.
 - Wood lattice panels: Brinnin Moore #15235, Corfield Creekside #15235, [17] residential use.
 - 5.5' x 9' vinyl windows and doors: Larchmont #15235, [17] residential use.
 - Upper ridge cap panel: Composite panel Brinnin Moore #15235, Street Tan.
 - Wood horizontal band trim: Composite panel Brinnin Moore #15235, Concrete 20mm. [17] residential use.
 - Landscape: 100mm. [17] residential use.
 - Wood horizontal band trim: Composite panel Brinnin Moore #15235, Concrete 20mm. [17] residential use.
 - Decorative concrete: Brinnin Moore #15235, Gpn.
 - Decorative concrete: Brinnin Moore #15235, Gpn.
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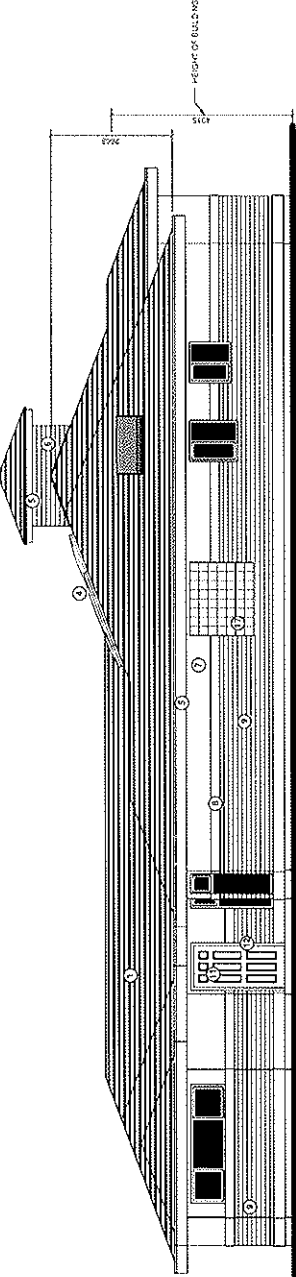
- Decorative concrete: Brinnin Moore #15235, Gpn.
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- Decorative concrete: Brinnin Moore #15235, Gpn.



FRONT ELEVATION



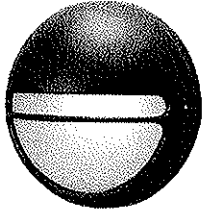
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SIDE ELEVATION

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outdoor lighting (BUILDING FACADES)



[click to enlarge](#)

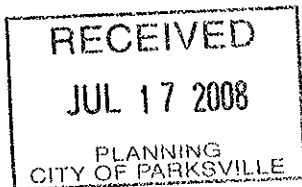
703HGB

lamping 1 x 100A
finish black cast
glass 034703 frosted ribbed
diameter 10"
extension 5"

options

additional info

Russell Lighting



THE SUSTAINABLE COMMUNITY BUILDER CHECKLIST



City of PARKSVILLE

The Sustainable Community Builder Checklist

Environmental Protection and Enhancement			
Please explain how the development protects and/or enhances the natural environment. For example does your development:			
	YES	NO	EXPLANATION
1. Conserve, restore, or improve native habitat?	✓		A total of 2.90 ha of parkland bordering Shelly Creek was as part of the Comprehensive Development <i>acknowledged</i>
2. Remove invasive species?	✓		
3. Involve innovative ways to reduce waste, and protect the air quality?		✓	
4. Include an ecological inventory?	✓		Site Quality Survey of Lot 30+31 by Toth + Associates
Please explain how the development contributes to the more efficient use of energy. For example does your development:			
	YES	NO	EXPLANATION
5. Use climate sensitive design features (passive solar, minimize the impact of wind, and rain, etc.)?	✓		Overhangs, skylights, strategically placed low E glass In-floor radiant, gas fired heating
6. Provide onsite renewable energy generation such as solar energy or geothermal heating?		✓	
7. Propose buildings constructed in accordance with LEED, and the accepted green building standards?	✓		Will build to LEED standards wherever possible

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